

GENERAL NOTES:

- 1. THE EXISTING CONDITIONS PLAN WAS COMPILED FROM AVAILABLE RECORD PLANS OBTAINED FROM THE TOWN OF ARLINGTON ENGINEERING DEPARTMENT AND SURVEY BY ALLEN & MAJOR ASSOCIATES, INC. ON OR BETWEEN JUNE 22, 2009 AND JUNE 26, 2009.
- 2. WETLAND FLAGS WERE SET BY ALLEN & MAJOR ASSOCIATES, INC. WETLAND SCIENTIST ON JUNE 25, 2009.
- 3. ZONING DISTRICT IS B2A.
- 4. OVERALL LOT SIZE: 3.87± ACRES
- 5. MAXIMUM CROSS SLOPE ON WALKS IN 66:1 (1.5%) AND MAXIMUM LONGITUDINAL SLOPE IS 22.5:1 (4.5%) EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS.
- 6. THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 8. ALL MAIN BUILDING ENTRANCES AND SIDEWALK SHALL BE HANDICAP ACCESSIBLE PER ADA REGULATIONS.
- 9. ALL SITE LIGHTING SHALL BE POLE MOUNTED AS SHOWN ON THE PLAN ENTITLED "LIGHTING PLAN."
- 10. ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- 11. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR
- 12. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTORS EXPENSE.
- 13. ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MA DEP, AND THE REQUIREMENTS OF THE ARLINGTON CONSERVATION COMMISSION.

GENERAL NOTES CONTINUED:

- 14. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING THE WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- 16. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- 18. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- 19. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 20. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 21. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- 22. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF NECESSARY BY ON SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- 23. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF ARLINGTON SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF ARLINGTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. THE LATEST STANDARDS OF THE TOWN OF ARLINGTON SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF ARLINGTON PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- 3. THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND PROPANE GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- 5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGE TO BE REMOVED, SEE GEOTECHNICAL REPORT. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITATES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- 6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- 7. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 SEWER PVC (POLYVINYL CHLORIDE), SDR 35
 DRAIN HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
 WATER C.L.D.I.
- 8. REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES AND UTILITY
- 9. BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF ARLINGTON THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.

ABANDONMENT.

- 10. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- 11. ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- 12. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- 13. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2008 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, . ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- 2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS TOWN HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- 3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- 4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- 5. ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF
- 6. ADJACENT ROADS SHALL BE PERIODICALLY SWEPT OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- 7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- 8. EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- 9. ALL STRAW BALE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED. THE TOWN OF ARLINGTON CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC.
- 10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP. AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- 11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTORS FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- 12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- 13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

GRADING/DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- 2. THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, DUMPSTER PADS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- 3. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- 4. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLAN.
- 6. TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM UN-FILTERED.
- 7. 6 FOOT DIAMETER DRAIN MANHOLES AND CATCH BASINS MAY BE NECESSARY DURING STORM DRAINAGE INSTALLATION.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON

ZONING BYLAW HAS BEEN GRANTED:
SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY RE
 MINIMUM LOT FRONTAGE
 MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDAR
SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

architecture interiors planning

360 Merrimack Street Lawrence, MA 01843 phone: 978.989.9900 www.cube3studio.com

Mill Street Residential & Retail Development

30-50 Mill Stree

Arlington, MA

Development Enterprises, LLC

WP East

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



THIS DRAWING HAS BEEN
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FORMAT. CLIENT/CLIENT'S
REPRESENTATIVE OR

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Permit - GMP Set

MAJOR ASSOCIATES, INC.'S

WORK PRODUCT.

NOT FOR CONSTRUCTION

drawing by:
BDJ, RB
drawing checked by:
TJW
drawing scale:
AS NOTED

drawing date:

drawing revisions:

project number:

rev. description

date

 11
 PERMIT-GMP SET
 04-20-11

 10
 MWRA 8M PERMIT
 03-08-11

 9
 50% ARB SUBMISSION
 03-04-11

 8
 SECTION 8.12A(11)
 02-17-11

 SPECIAL PERMIT
 7
 PER TOWN COMMENTS
 01-11-11

 6
 PER CON. COM.
 12-13-10

5 PER FD COMMENTS 12-08-10
4 PER TOWN COMMENTS 11-17-10
3 PER TOWN COMMENTS 10-27-10
2 PER TOWN COMMENTS 10-20-10

2 PER TOWN COMMENTS 10-20-10
1 PER TOWN COMMENTS 06-16-10



Abbreviations & Notes

ABB-1

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 $N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01$ - ABBREVIATIONS & NOTES.DWG

LOCUS MAP (NOT TO SCALE)

PARKING SUMMARY (ON SITE)

120

122

STANDARD STALLS

TOTAL STALLS

HANDICAPPED STALLS

UTILITY STATEMENT

UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS

A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES

NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH

-TOWN OF ARLINGTON ASSESSORS MAP 52 -PLAN 453 OF 1968 -BOOK 52700 PAGE 523

PLAN REFERENCES

LOCUS REFERENCES

-PLAN 281 OF 1967

-PLAN 1082 OF 1980 -PLAN 470 (A OF 8) OF 1984

1. NORTH ARROW TAKEN FROM PLAN 453 OF 1968. 2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM

MIDDLESSEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA. 3. VERTICAL DATUM IS TOWN OF ARLINGTON BASE.

4. CONTOUR INTERVAL IS ONE FOOT (1').

5. THE RESOURCE OF BANK (FLAGS A-1 THRU A-16) WAS

DELINEATED ON JUNE 25, 2009 BY ALLEN & MAJOR ASSSOCIATES, INC. 6. THE 100 YEAR FLOOD PLAIN ELEVATIONS SHOWN HEREON ARE TAKEN FROM THE PRELIMINARY FEMA FLOOD INSURANCE RATE MAPS COMMUNITY PANEL

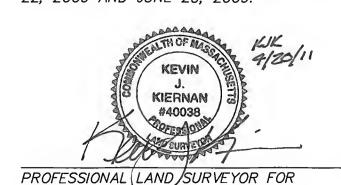
NUMBER 250177 0416 E RELEASED SEPTEMBER 28, 2007. 7. LOCATION TAKEN FROM PLAN ENTITLED "PLAN OF LAND IN ARLINGTON, MA" PREPARED BY LEON B. TURNER JR., DATED DECEMBER 21, 1982. RECORDED AS PLAN# 822 OF 1983 AT THE MIDDLESEX (SOUTH) COUNTY REGISTRY OF DEEDS.

INV(a)=38.46INV(b) = 38.56INV(c) = 38.36-FFE=44.14 FFE = 44.26CONC. TOWN OF ARLINGTON (UNABLE TO OPEN) ASSESSORS LOT 52-B-1 | CB | RCB | RCB | RIM=40.02 | AREA=168,462± S.F. CHAIN LINK FENCE INV(b) = 37.63(3.87± Ac.) BUILDING ~ JERSEY BARRIER-#30-50 MULTI-STORY BUILDING HEIGHT=18.0' (TYPICAL) INV(a) = 38.60BRICK & CONC. INV(b)=38.60 FPA=60,350± S.F. TOWN OF ARLINGTON INV(a)=38.12TNV(b)=38. ス7 BK.8136/PG.360 INV(BC)=48.94INV(c) = 46.10ACTIVITY AND USE— LIMITATION AREA PASSAGEWAY AND PARKING EASEMENT (ABANDONED) NEW EASEMENTS CREATED BK.49151/PG.133 RESTAURANT SLATE PATIO-FUEL MANHOLE— METAL GUARD RAIL FFE=43.77 VIA L.C. DOC.# 1078916 200' RIVERFRONT AREA DMH
RIM=41.20
INV(a)=39.00
INV(b)=39.00 15' MDC SEWER-INV = 49.23EASEMENT BK.11302/PG.390 CB RIM=51.93 (UNABLE TO OPEN) -BOSTON EDISON EASEMENT INV(a) = 43.82INV(b) = 43.92INV(a)=38.75INV(b)=36.862 STORY INV(c) = 47.72RIM=41.09 ANV(o)=36.91 INV(b)=39.29 INV(c)=38.23BRICK BUILDING DMH RIM=49.94 186.65' S75'23'46"E---INV(a) = 41.99INV(b) = 42.04MDC SEWER EASEMENT INV(BC)=30.62"PROPOSED BRIDGE" SB/DH-(NOT-CONSTRUCTED) (FND) -BRIGHAMS PARKING INV(a) = 31.93INY(a)=36.40 AREA EASEMENT INV(b)=31.93 BK.15137/PG.409 BK.12535/PG.708 2 STORY 22 MILĹ STREET CONCRETE SMH RIM=47.91 CONDOMINIUM PARKING GARAGE BK.15560/PG.411 #22 4 STORY "NEW BRIGHAMS EASEMENT" INV(BC)=41.91INV = 43.3725' LOCAL NO DISTURB BUFFER BK.15137/PG.409 A-2 A-3 A-4INV(a)=35.99BRICK BUILDING ||NV(b)=42.44|A-9 A-10 INV. 10" PVC=37.77 INV. 12" RCP=36.01 ||NV(c)|=38.94CB RIM=46.90 INV.=34.60-(UNABLE TO OPEN)

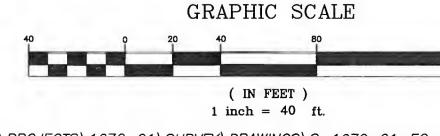
MILLBROOK (PUBLIC - 40' WIDE) DRIVE

60' RIGHT OF WAY-(ABANDONED) BK.15137/PG.409

> WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JUNE 22, 2009 AND JUNE 26, 2009.



ALLEN & MAJOR ASSOCIATES, INC.



architecture interiors planning 360 Merrimack Street Lawrence, MA 01843

> Mill Street Residential & Retail Development

> > 30-50 Mill Street Arlington, MA

LEGEND

DRILL HOLE (DH)

STONE BOUND (SB)

DRAIN MANHOLE (DMH)

SEWER MANHOLE (SMH) MISC. MANHOLE (MH)

WATER MANHOLE (WMH)

UTILITY POLE W/RISER UTILITY POLE W/LIGHT

ROUND CATCH BASIN (RCB)

CATCH BASIN (CB)

INVERT (INV)

UTILITY POLE

FIRE HYDRANT FIRE STANDPIPE WATER GATE

GAS GATE

BOLLARD INVERT (INV) AREA DRAIN

TREE

TRANSFORMER

MONITOR WELL

CLEANOUT

BANK FLAG

HAND HOLE

1' CONTOUR

5' CONTOUR

CONCRETE

RIP-RAP

BUILDING

TOP OF BANK

EASEMENT LINE PROPERTY LINE

ABUTTERS LINE

TREE LINE

FLOOD LINE

BUFFER

FIRE ALARM BOX

HANDICAP RAMP

HANDICAPPED PARKING SPACE

00000/00000

 \bigcirc

---OHW-

RCP

PVC

CONC.

GRAN.

L.C.C.

PARKING SPACE COUNT

LANDSCAPED AREA (LSA)

CONCRETE RETAINING WALL

STONE RETAINING WALL

25' LOCAL NO DISTURB

100' RIVERFRONT AREA/

200' RIVERFRONT AREA

CHAIN LINK FENCE

OVERHEAD WIRES

SEWER LINE

DRAIN LINE

ELECTRIC LINE

TOP OF WATER

NOW OR FORMERLY

CONCRETE

PLAN BOOK

LAND COURT

BITUMINOUS

FOOTPRINT AREA

CERTIFICATE OF TITLE

LAND COURT CASE

CAST IRON PIPE

VITRIFIED CLAY PIPE

CORRUGATED METAL PIPE

FINISHED FLOOR ELEVATION

STONE BOUND W/DRILL HOLE

GRANITE

BOTTOM CENTER

REINFORCED CONCRETE PIPE

POLYVINYL CHLORIDE PIPE

GUARDRAIL

100' JURISDICTIONAL BUFFER

EDGE OF PAVEMENT

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC. WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

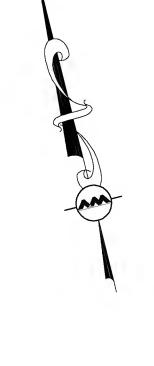
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project number:

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N:\PROJECTS\1670-01\SURVEY\DRAWINGS\S-1670-01-EC-30-X-42 FB# 1653 PG. 112



REMOVE MISCELLANEOUS TRASH AND -

CLEAR AND GRUB LIMITS —

EXISTING OFFSITE CLF TO —

EXISTING TREE TO REMAIN-

AND BE PROTECTED WITH

LIMITS OF THE PROPERTY)

ORANGE CONSTRUCTION

FENCING (WITHIN THE

ALL EXISTING ASPHALT —

REMOVED AND / OR

CONDITION OF EXISTING

SEE NOTE #3

REMOVE 2.900 +/- S.F. OF -/

THE RIVERFRONT AREA.

TEMPORARY SCREENED-

CONSTRUCTION CLF

BITUMINOUS PAVEMENT, CURBING,

AND 2' DEEP OF GRAVEL BASE OUTSIDE OF PROPERTY AND WITHIN

WITHIN THE SITE TO BE

PULVERIZED AND REUSED.

42" MWRA SEWER LINE TO

BE INSPECTED BY CAMERA.

EXISTING TREES TO REMAIN AND

BE PROTECTED WITH ORANGE

CONSTRUCTION FENCING (WITHIN

THE LIMITS OF THE PROPERTY)

N/F

TOWN OF ARLINGTON

BK.8136/PG.360

REMAIN

DEBRIS WITHIN WOODED & SLOPED AREA.

8" TO 6" C.L.D.I REDUCER -

PROPOSED HYDRANT WITH 6"-

CLEAR AND

T.B.R.

T.B.R.

ALL CONCRETE STEPS, -

RAILINGS, GUARDRAILS,

T.B.R.

T.B.R.

T.B.R.

12" RCP-

WALKS, CURBING,

& LANDSCAPING

T.B.R., TYP.

T.B.R.

BOLLARDS T.B.R.

GRUB LIMITS

T.B.R.

C.L.F. AND

GUARDRAIL

PVC T.B.R.

T.B.R.

12"

/ T.B.R.

(FUTURE WORK) TO REMAIN

RCP

T.B.R.

T.B.R.

/ T.B.R.

T.B.R.

T.B.R.

T.B.R.

T.B.R.

PVC

TOWN OF ARLINGTON

BK.12535/PG.708

UTILITY POLES TO BE REMOVED.

REQUIRES A SEPARATE TOWN OF

ARLINGTON ORDER OF CONDITIONS.

T.B.R.

BOLLARDS T.B.R.-

—CONCRETE

BARRIERS

T.B.R.

6" GATE -

RAZE EXISTING >

SHRUBS, T.B.R., TYP.

BOLLARDS, ABOVE -

GROUND STORAGE

TANK, & CONCRETE

MANHOLES AND SERVICES

TO BE REMOVED BACK TO

MILLBROOK (PUBLIC - 40' WIDE) DRIVE

T.B.R.

EXISTING SEWER-

MWRA TRUNKLINE

STRUCTURES

Manage and the second of the second of

T.B.R.

CLF GATE

REMOVED

WATER GATE

(FORMERLY BOSTON AND TEMPORARY SCREENED CONSTRUCTION CLF

RAZE EXISTING 🥆

STRUCTURES

- TRANSFORMERS TO BE

REMOVED BY NSTAR, TYP.

AREA DRAINS T.B.R.-

FIELDSTONE RETAINING

WALL REMAINS IN PLACE!

BENCHES T.B.R.

REMOVED

-OVERHEAD

REMOVED

- D.M.H. & C.B. WITHIN THE

ABANDONED IN PLACE,

M.W.R.A. 8m PERMIT

MWRA EASMENT ARE TO BE

FLOWABLE FILL. REQUIRES

FRACTURE BASE AND FILL WITH

WIRES TO BE

-REMOVE EXISTING

WATER SERVICE

-ALL CONCRETE WALKS, GUARDRAILS,

CURBING, WALLS, FENCING &

THROUGH BUIDLING

-PORTION OF EXISTING BUILDING

REMOVAL OF SINGLE STORY BUILDING &

T.B.R.

- SIGN

T.B.R.

-PAVEMENT AND CURBING TO BE

APPROVAL. IMMEDIATELY AFTER

SEWER MANHOLE

FIELDSTONE RETAINING

WALL TO BE REMOVED

APPROXIMATE LOCATION

SERVICE. TERMINATION

TO BE COORDINATED

WITH GAS SUPPLIER.

OF EXSITING GAS

TO REMAIN

REMOVED, REQUIRES M.B.T.A.

" SEWER

REMOVED

-TEMPORARY

SCREENED

-CONDITION OF EXISTING

SEE NOTE #3

42" MWRA SEWER LINE TO

BE INSPECTED BY CAMERA.

LATERAL TO BE

SAWCUT PAVEMENT

- ALL EXISTING ASPHALT

REMOVED AND / OR

CONSTRUCTION CLF

WITHIN THE SITE TO BE

PULVERIZED AND REUSED.

REMOVAL, GRADE, ADD 6"

TOPSOIL, AND SEED.

STRUCTURES WITHIN OFFSITE PARCEL

(11.3' ENCROACHMENT) IMMEDIATELY

AFTER REMOVAL, GRADE, ADD 6"

RETAINING WALL TO REMAIN. SEE STRUCTURAL DRAWINGS.

REQUIRES M.B.T.A. APPROVAL.

TOPSOIL, AND SEED.

, RAZE EXISTING \

ALL CONCRETE STEPS,-

T.B.R.

-EXISTING UTILITY POLES AND

JOHN L. WHEATLY JR., TR.

2 EXISTING TREES TO REMAIN AND

MANHOLES/VAULTS TO BE REMOVED

TEMPORARY SCREENED CONSTRUCTION CLF

22 MILL STREET

CONDOMINIUM

BK.15560/PG.411

-OVERHEAD WIRES TO BE REMOVED

∠U.P. TO

REMAIN

42" MWRA SEWER

-UNDERGROUND ELECTRICAL LINE AND ASSOCIATED

_U.P. TO BE PROTECTED WITH ORANGE

REMAIN CONSTRUCTION FENCING

OHW TO BE REMOVED

L.C. BK.1024/PG.168
CONCRETE STEPS, WALKS, RAILINGS, &

STRUCTURES

WALKS, CURBING, FENCING &

_-----

T.B.R., TYP.

REMAIN

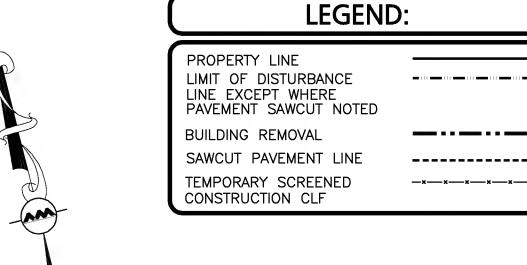
CLEAR AND GRUB, EXISTING UTILITY POLES OFFSITE TREES TO OHW TO BE REMOVED

CLF GATE

EXISTING UTILITY POLES AND

—SAWCUT PAVEMENT

LANDSCAPING T.B.R., TYP.



NOTES:

- IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING
- BOUNDARIÉS REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
- 3. EXISTING 42" MWRA SEWER LINE TO BE INSPECTED BY CAMERA BOTH PRIOR TO CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETED TO VERIFY CONDITION. CONTRACTOR TO CAMERA ENTIRE LENGTH OF SEWER LINE ON THE PROPERTY AND PROVIDE VIDEOS TO CIVIL ENGINEER & OWNER.
- 4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 2. GRADING / DEMOLITION OUTSIDE OF THE PROJECT
- ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATED EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.

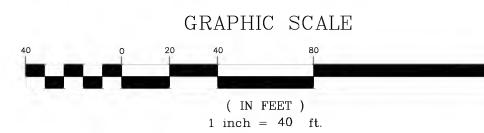
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SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

 MINIMUM LOT FRONTAGE MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB) SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



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Residential & Retail Development

30-50 Mill Stree

Arlington, MA

WP East Development

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

Enterprises, LLC

ALLEN & MAJOR ASSOCIATES, INC. ivil & structural engineering ◆land surveyin nvironmental consulting ◆ landscape architectu: w w w . a llen m ajor.com 100 COMMERCE WAY P.O. BOX 2118 WOBURN MA 01888-0118 TEL: (781) 935-6889 FAX: (781) 952-2896

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WORK PRODUCT.

drawing by: BDJ, RB drawing checked by: TJW drawing scale: 1"=40' drawing date: 03.15.10 drawing revisions: project number: 1670-01 rev. description

11 PERMIT-GMP SET 04-20-11 10 MWRA 8M PERMIT 03-08-11 9 50% ARB SUBMISSION 03-04-11

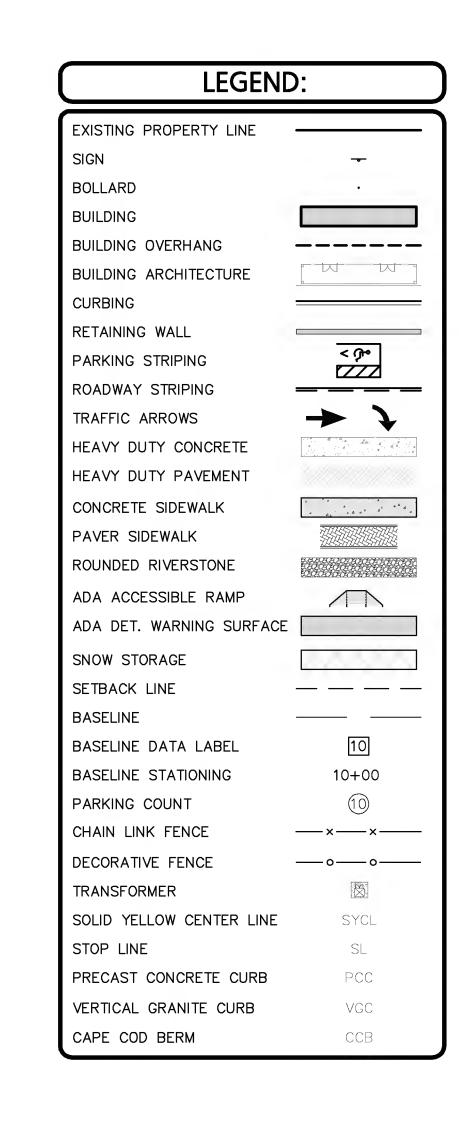
8 SECTION 8.12A(11) 02-17-11 SPECIAL PERMIT 7 PER TOWN COMMENTS 01-11-11 6 PER CON. COM. 12-13-10 5 PER FD COMMENTS 12-08-10 4 PER TOWN COMMENTS 11-17-10

3 PER TOWN COMMENTS 10-27-10 2 PER TOWN COMMENTS 10-20-10 1 PER TOWN COMMENTS 06-16-10

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Demolition Plan

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<u>NO</u>

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- 3. BENCHES AT EXISTING OFFSITE PARK TO THE SOUTH OF THE SITE TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS. 25" X 32" X 70". POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

1"-2" DIA. ROUNDED RIVERSTONE. COLOR-	PORTION OF EXISTING BLDG. RETAINING WALL TO REMAIN. (SEE STRUCTURAL
GRAY OR TAN. 6" DEEP WITH MIRAEL WEED	DRAWINGS)
TO OWNER FOR APPROVAL. TYP. / WALL TO REMAIN. (SEE STRUCTURAL	BEGIN WOODEN GUARDRAIL BEHIND CURB.
PROP. RIPRAP SLOPE,— SEE GRADING PLAN. DRAWINGS) INSTALL 4' BLACK VINYL CLF ON TOP OF WALL.	SEE GUARDRAIL DETAIL.
	CONC. PUMP STATION PAD, TYP.
SIDE YAS (FORMERLY BOSTS	CONCRETE HANDICAP CURB CUT WITH DETECTABLE WARNING PAVERS, TYP.
SIDE YARD SETBACK SETBACK (FORMERLY BOSTON AND MAINE RAILROAD) WOOD	PROPOSED SEGMENTAL RETAINING WALL WITH 4' HT. DECORATIVE FENCE DIRECTLY BEHIND WALL
SEE ARCHITECTURAL GUARDRAIL (TO PROTECT	COMPACT PARKING STALLS
PLANS FOR MATERIALS AND LAYOUT OF PODIUM GAS METERS) SEE DETAIL.	CONC. GENERATOR PAD, WITH STEEL BOLLARDS, TYP.
PARKING PARKING	CONC. SIDEWALK TYP.
	/ / /1"-2" DIA. ROUNDED RIVERSTONE. COLOR GRAY OR TAN. 6" DEEP WITH MIRAFI WEED BARRIER FABRIC BENEATH, PROVIDE SAMPLE TO OWNER FOR APPROVAL. TYP.
1" O" DIA POUNDED DIVERGEORIE	SEE AMENITIES PLAN SHEET C-9C 1' WIDE STOP LINES & CROSSWALK
1"-2" DIA. ROUNDED RIVERSTONE. COLOR GRAY OR TAN. 6" DEEP WITH MIRAFI WEED BARRIER THERMOPLASTIC PARKING PARKING PARKING PARKING STALLS STALLS	FOR LAYOUT AND MATERIALS (THERMOPLASTIC)
FABRIC BENEATH, PROVIDE SAMPLE STRAIGHT ARROW, STALLS STALLS	
TO OWNER FOR APPROVAL. TYP.	PAINTED CROSSWALK
CONCRETE HANDICAP CURB CUT WITH 24.0'	STRIPING
DETECTABLE WARNING PAVERS, TYP.	OFFSITE PLAZA CONNECTION TO EXISTING BIKE PATH (FUTURE
N/F TOWN OF ARLINGTON BK 81.36 /PG 360 TOWN OF ARLINGTON BK 81.36 /PG 360 TOWN OF ARLINGTON BEHIND CURB APARTMENTS - 116 TOTAL UNITS SEE WOOD GUARDRAII DETAIL 131,200 G.S.F (INCLUDING CLUBHOUSE)	DOCTOR OFFICES WORK). SEPARATE PROJECT
BK.8136/PG.360 GUARDRAIL DETAIL. 131,200 G.S.F (INCLODING CLODING CLOD	1-STORY BUILDING 3,100 G.S.F TOTAL F.F.E.=60.5± WITH APPROVAL OF M.B.T.A. OR CURRENT LAND OWNER.
	19.6'
18.0 24.0 18.0	
1"-2" DIA. ROUNDED RIVERSTONE. COLOR	
GRAY OR TAN. 6" DEEP WITH MIRAFI WEED BARRIER FABRIC BENEATH, PROVIDE SAMPLE	
TO OWNER FOR APPROVAL. TYP. 22.6' TO MWRA SEWER, 16.0' TO EASEMENT	SIDEYARD N/F STANDARD DUTY BITUMINOUS
STANDARD DUTY	SIDEYARD JOHN L. WHEATLY JR., TR. SETBACK L.C. BK.1024/PG.168
BITUMINOUS ROADWAY, TYP. REMOVE 2.900+/- S.F. OF 27.8' TO MWRA SEWER 122.1' TO EASEMENT	
27.8' TO MWRA SEWER 122.1' TO EASEMENT	
BITUMINOUS PAVEMENT, CURBING, AND	8'± WIDE CONCRETE
2' DEEP OF GRAVEL BASE OUTSIDE OF PROPERTY AND WITHIN THE RIVERFRONT AREA. REPLACE WITH ORDINARY FILL AND 6" TOPSOIL IN LAWN AREAS, 24" TOPSOIL IN SHRUB	SIDEWALK SEE AMENITIES CONCRETE HANDICAP CURB
RIVERFRONT AREA. REPLACE WITH ORDINARY FILL AND 6" TOPSOIL IN	PLAN SHEET 8'± WIDE CONCRETE CUT WITH DETECTABLE
	LAYOUT AND EXISTING ROLL-UP
/ PERENNIAL AREAS.	MATERIALS DOOR STOP TEXT, TYP. (THERMOPLASTIC)
SHEET C-9A FOR LAYOUT AND	PAINTED CROSSWALK
MATERIALS	STRIPING in Stripi
	PAD & STEEL ROLLARDS TYP
SEE SITE LIGHTING PLAN FOR DETAILS (FUTURE WORK)	STANDARD DUTY CONCRETE HANDICAP CURB CUT WITH DETECTABLE WARNING
TOWN OF ARLINGTON TOWN OF ARLINGTON AT THE PROPERTY LINE	BITUMINOUS TYPE THERMOPLASTIC THERMOPLASTIC PAVERS, TYP.
BK.12535/PG:Z08	1' WIDE STOP LINE 22 MILL STREET
REPLACE PARK BENCHES (4)	TYP. (THERMOPLASTIC) CONDOMINIUM BK.15560/PG.411
SEE NOTE #3. (FUTURE WORK) PROPOSED CONCRETE SIDEWALK	
(FUTURE WORK)	
BRICK PAVERS TO MATCH EXISTING BRICK — PATTERN, COLOR, AND SIZE. 1' WIDE STOP LINE & STOP TEXT TYPE	
(FUTURE WORK) STOP TEXT, TYP. (THERMOPLASTIC)	
WAY COLLEGE TO SEE THE	

MILLBROOK (PUBLIC - 40' WIDE) DRIVE

LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A) USE: APARTMENT HOUSE

ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
LOT AREA (S.F.)	168,462 S.F. (3.87 ACRES)	168,462 S.F. (3.87 ACRES)	20,000 S.F.
FRONTAGE (FEET)	79.81' (MILL STREET) 26.04' (MILL STREET)	79.81' (MILL STREET) 26.04' (MILL STREET)	100'
FLOOR AREA RATIO	0.39	0.80	0.80 (MAXIMUM)
LOT AREA PER DWELLING UNIT (S.F.)	N.A.	1,452 S.F.	1,450 S.F. (MINIMUM)
FRONT YARD SETBACK (FEET)	31.3'	207.2'	15'
SIDE YARD SETBACK (FEET)	11.3' (OVER PL)	29.5'	10+(L/10)=27.2' (SEE CALC. BELOW)
REAR YARD SETBACK (FEET)	125.7'	44.4'	30'
BUILDING HEIGHT (STORIES)	1 & 2 STORIES'	4 STORIES RESIDENTIAL 1 STORY PODIUM PARKING	3 STORIES (MAXIMUM)
BUILDING HEIGHT (FEET)	N.A.	54.6' (SEE CALC. BELOW)	35' (MAXIMUM)
OPEN SPACE-LANDSCAPE (% G.F.A.)	11.1%	63.4%	10% (MINIMUM)
OPEN SPACE-USABLE (% G.F.A.)	0%	28.0%	25% (MINIMUM)
PARKING AREA LANDSCAPE	0%	11.6%	8%

- LENGTH OF BUILDING AT STREET FRONTAGE (L)= 171.8'
 HIGHEST POINT OF THE ROOF (H)= 107.6'
 AVERAGE GRADE OF THE CURB LINE ALONG MILL STREET FRONTAGE=53.0'
- BUILDING HEIGHT = 107.6' 53.0' = 54.6'
- SIDE YARD SETBACK = 10+(L/10) = 10 + (171.8'/10') = 27.2'

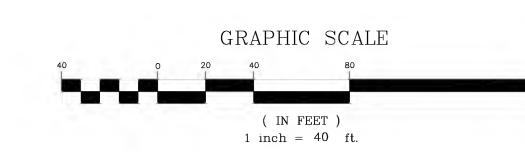
LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A) USE: RETAIL OR MEDICAL OFFICE

ГЕМ	EXISTING	PROPOSED	REQUIRED/ALLOWED
OT AREA (S.F.)	168,462 S.F. (3.87 ACRES)	168,462 S.F. (3.87 ACRES)	0 S.F.
RONTAGE (FEET)	79.81' (MILL STREET) 26.04' (MILL STREET)	79.81' (MILL STREET) 26.04' (MILL STREET)	50'
RONT YARD SETBACK (FEET)	31.3'	19.6'	0 S.F.
SIDE YARD SETBACK (FEET)	11.3' (OVER PL)	13.6'	0 S.F.
EAR YARD SETBACK (FEET)	125.7'	528.8'	10+(L/10) 10+(50'/10)=15.4'
UILDING HEIGHT (STORIES)	1 & 2 STORIES	1 STORY	3 STORIES
BUILDING HEIGHT (FEET)	N.A.	<35'	35'
PEN SPACE-LANDSCAPE (% G.F.A.)	11.1%	63.4%	10%
PEN SPACE-USABLE (% G.F.A.)	0%	28.0%	0%

OFF-S	STREET PA	RKING SU	JMMARY	
1.50 SPACE	PER STUDIO PER ONE BEDRO PER TWO BEDRO	DOM UNIT	1, PAGE 87) x(18 STUDIO) x(35 ONE BDRM) x(63 TWO BDRM) x(0 THREE+ BDR	= 40 = 95
USE: PROPOSED RETAIL (PER ARTICLE 8, SECTION 8.01, PAGE 87) 1.00 SPACE PER 300 S.F. OF FLOOR SPACE x(3,100 S.F.) = 11 (OR)				
PROPOSED MEDICAL 4.0 SPACES PE	OFFICES (PER R DOCTOR (3		CTION 8.01, PAGE	88) = 12
SITE TOTAL OFF-STREET	PARKING REQUIR	REMENT		= 165
REQUIRED: 6 TOTAL PARI (MINIMUM OF 2 PROVIDED: 6 TOTAL ACCI	ACCESSIBLE ST	TALLS SHALL B	E VAN ACCESSIBL	LE) LLS
REQUIRED BICYCLE PARKI PROVIDED BICYCLE PARKI	NG: 3 BICYCLE	RACKS OUTSID	= 11 BICYCLE STA E BUILDING & BUILDING FOR 16	
COMPACT STALLS COMPR 153 APARTMENT HOUSE S				RKING
	STANDARD (8.5' x 18')	COMPACT (8' x 16')	ACCESSIBLE SPACES	TOTAL PROVIDED
STRUCTURED PODIUM PARKING	85	0	4	89
SURFACE	46	28	2	76

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

- SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
- MINIMUM LOT FRONTAGEMAXIMUM BUILDING HEIGHT/STORIES
- SECTION 8.12 A(11) PARKING & LOADING SPACE STANDARDS (ARB)
- SECTION 11.04 FLOODPLAIN DISTRICT (ZBA)
- SECTION 11.06 ENVIRONMENTAL DESIGN REV. (ARB)



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Mill Street
Residential &
Retail
Development

WP East

Arlington, MA

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA

ALLEN & MAJOR
ASSOCIATES, INC.

civil & structural engineering * land surveying environmental consulting* landscape architectur w w w . a 1 l e n m a j o r . c o m

100 COMMERCE WAY
P.O. BOX 2118

WORLDING ALSO 1189

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drawing by:

BDJ, RB

drawing checked by:

TJW

drawing scale:

drawing date:

drawing revisions:

project number:

1670-01

rev. description

date

11 PERMIT-GMP SET 04-20-11
10 MWRA 8M PERMIT 03-08-11

9 50% ARB SUBMISSION 03-04-11
8 SECTION 8.12A(11) 02-17-11
SPECIAL PERMIT
7 PER TOWN COMMENTS 01-11-11
6 PER CON. COM. 12-13-10
COMMENTS

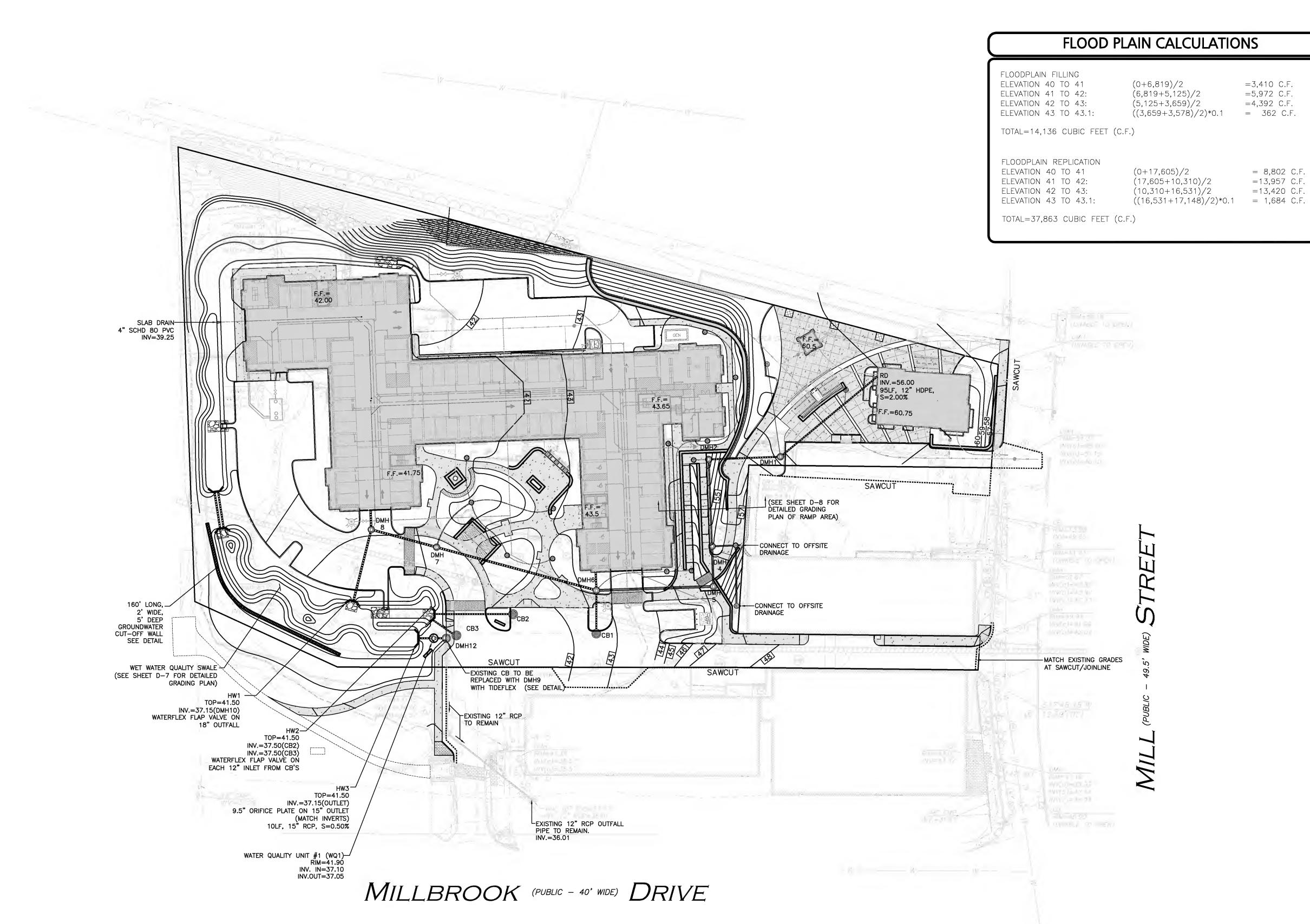
5 PER FD COMMENTS 12-08-10
4 PER TOWN COMMENTS 11-17-10
3 PER TOWN COMMENTS 10-27-10
2 PER TOWN COMMENTS 10-20-10

2 PER TOWN COMMENTS 10-20-10
1 PER TOWN COMMENTS 06-16-10

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Layout Plan

drawing nun



__ EXSTING RETAINING WALL TO REMAIN (BURY EXISTING WALL) LANDSCAPE AREA-3:1 SLOPE DATUM ELEV 0+30 0+20 0+10 0+00 0+10 0+20 PEDESTRIAN PATH CROSS SECTION

HORIZONTAL - 1"=10" VERTICAL - 1"-10"

	PROPOSED DRAINAGE MANHOLES							\longrightarrow	
STRUCT.	STRUCT. RIM INVERT IN INVERT IN INVERT IN INVERT OUT LENGTH SLOPE DIA. MATERIA								
DMH1	60.50	54.00(AD)	54.00(AD)	54.00(ROOF)	47.00	51	2.00%	12"	HDPE
DMH2	51.50	48.00(AD)	45.98(DMH1)	_	41.93	63	2.00%	12"	HDPE
DMH3	_	_	_	_	_	_	_	_	_
DMH4	56.00	40.67(DMH2)	46.50(AD)	_	40.17	27	2.00%	15"	HDPE
DMH5	46.50	39.63(DMH4)	_	_	39.13	86	0.50%	18"	HDPE
DMH6	43.50	39.20(RF/AD)	38.70(CB1)	38.70(DMH5)	38.60	125	0.80%	18"	HDPE
DMH7	41.10	37.60(DMH6)	37.60(AD)	_	37.60	47	0.50%	18"	HDPE
DMH8	41.00	38.00(UD)	37.37(DMH7)	37.37(RD)	37.37	55	0.40%	18"	HDPE
DMH9*	41.95	37.01(WQ1)	_	_	36.91	EXISTING	12" OUT	fall pipe	

*DMH9 USES 12" TIDEFLEX FLAP VALVE ON THE INLET PIPE.

	_		_	•	CBO	41.15	37.71	<u> </u>	1.00%	12	HUPE
27	2.00%	15"	HDPE		*CONTECH C	DS2015-	4 (OR APPR	ROVED EQU	JAL)		
86	0.50%	18"	HDPE								
125	0.80%	18"	HDPE	(DRODO	JCED I	WATER	OLIVI	ITV CT	BLICT	IDEC
47	0.50%	18"	HDPE	{	ritore	73LD	VVAILIN	QUAL	וכ ווו.	NOCI	UKL3
55	0.40%	18"	HDPF								

RIM INV. IN INV. OUT LENGTH SLOPE DIA. MAT

PROPOSED WATER QUALITY INLETS

RUCTURE | RIM |INVERT OUT|LENGTH | SLOPE | DIA. |MATERI

| 42.60 | 39.00 | 30 | 1.00% | 12" | HDPE

| 41.55 | 38.10 | 60 | 1.00% | 12" | HDPE

=3,410 C.F.

=5,972 C.F.

=4,392 C.F.

= 8,802 C.F.

=13,957 C.F.

=13,420 C.F.

*CONTECH CDS3020 (OR APPROVED EQUAL)

DRAIN MANHOLE CATCH BASIN FLARED END SECTION DRAIN LINE RIPRAP OUTFALL HEADWALL 128 1' CONTOUR SPOT GRADE × 128 SAW-CUT LINE PERFORATED UNDERDRAIN

SOLID UNDERDRAIN

LEGEND:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 2. ALL ELEVATIONS REFER TO NGVD '29 (TOWN OF ARLINGTON BASE).
- 3. ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- 4. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- GRADING OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRADING EASEMENT FROM THE LANDOWNER (BY OTHERS).
- 6. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS MINIMUM LOT FRONTAGE

MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB) SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE (IN FEET) 1 inch = 40 ft.

 $N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01$ - GRADING-DRAINAGE.DWG

architecture interiors planning 360 Merrimack Street Lawrence, MA 01843 phone: 978.989.9900 www.cube3studio.com

> Residential & Retail Development

30-50 Mill Street Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.

WOBERN, MA ◆ LAKEVILLE, MA ◆ MANCHESTER, NH THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S

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Permit - GMP Set

NOT FOR CONSTRUCTION

MAJOR ASSOCIATES, INC.'S

WORK PRODUCT.

drawing by: BDJ, RB TJW 1"=40' drawing date: 03.15.10 drawing revisions: project number: 1670-01 rev. description

11 PERMIT-GMP SET 04-20-11 10 MWRA 8M PERMIT 03-08-11

9 50% ARB SUBMISSION 03-04-11 8 SECTION 8.12A(11) 02-17-11 SPECIAL PERMIT 7 PER TOWN COMMENTS 01-11-11 6 PER CON. COM. 12-13-10

5 PER FD COMMENTS 12-08-10 4 PER TOWN COMMENTS 11-17-10 3 PER TOWN COMMENTS 10-27-10

2 PER TOWN COMMENTS 10-20-10 1 PER TOWN COMMENTS 06-16-10

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed Grading & Drainage Plan



WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC. ironmental consulting landscape architectu: www.allenmajor.com WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC

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	drawing by:	BDJ, RB
	drawing checked by:	TJW
	drawing scale:	1"=40'
	drawing date:	03.15.10
2	drawing revisions:	
,	project number:	1670-01
	rev. description	date

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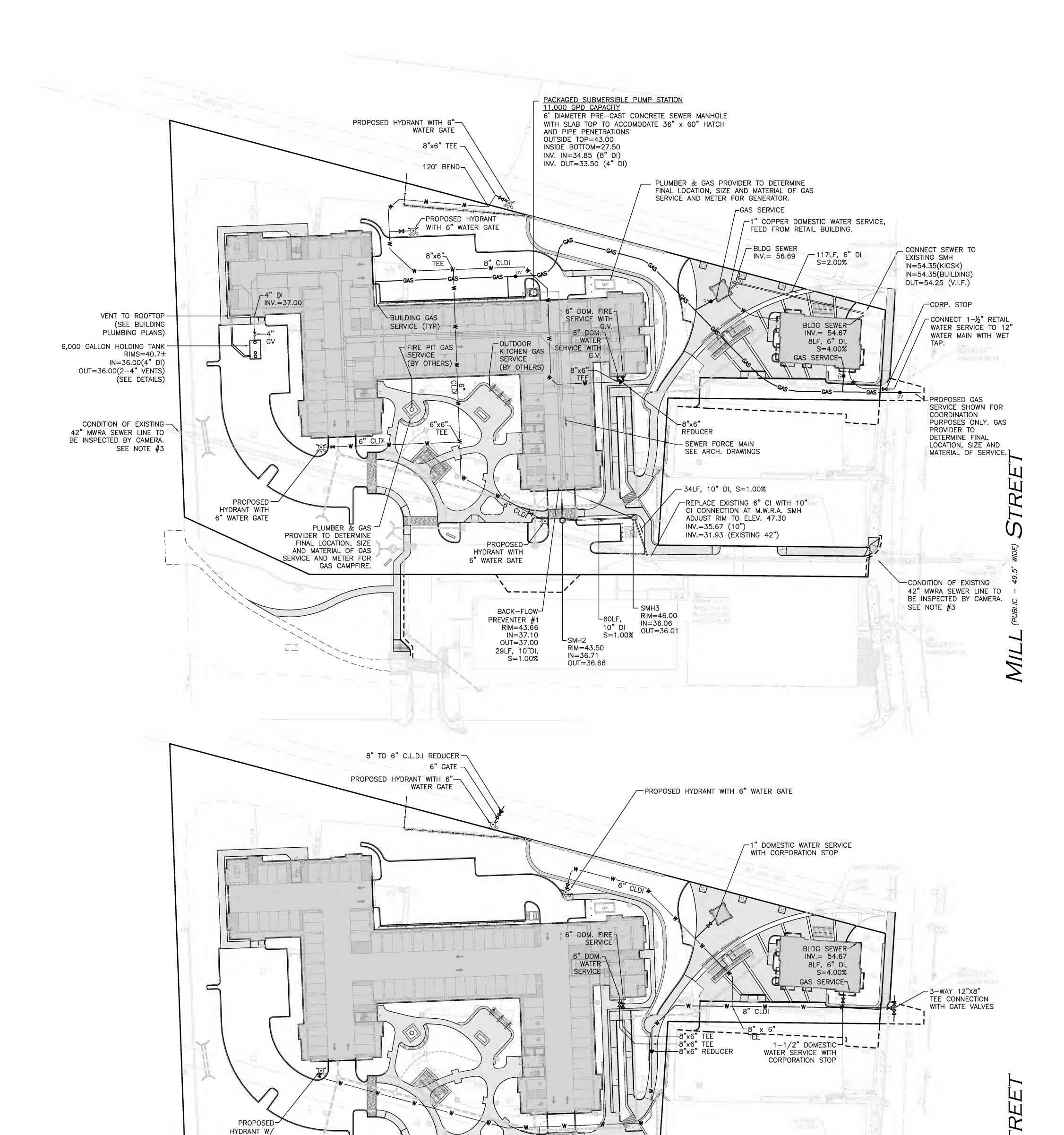
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed Utility Plan





ALTERNATE WATERLINE FOR PRICING

HYDRANT WITH 6" WATER GATE

6" WATER GATE

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND:

CONCRETE PIPE ENCASEMENT

——GAS ———

000

SEWER MANHOLE

SEWER CLEANOUT

SEWER VENT

SEWER LINE

WATER LINE

WATER VALVE

HYDRANT

GAS VALVE

GAS LINE

GREASE TRAP

WATER LINE REDUCER

2. ALL ELEVATIONS REFER TO NGVD '29.

3. EXISTING 42" MWRA SEWER LINE TO BE INSPECTED BY CAMERA BOTH PRIOR TO CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETED TO VERIFY CONDITION. CONTRACTOR TO CAMERA ENTIRE LENGTH OF SEWER LINE ON THE PROPERTY AND PROVIDE VIDEOS TO CIVIL ENGINEER & OWNER.

4. BUILDING WATER/GAS/SEWER SERVICE SIZE AND LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.

5. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.

6. SANITARY SEWER MANHOLES, INLETS AND ROUTING WITHIN THE PARKING GARAGE ARE SHOWN FOR COORDINATION AND ARE SCHEMATIC ONLY. FINAL LOCATION AND ELEVATIONS OF THE GARAGE SANITARY SEWER SHALL BE BASED ON THE GARAGE BUILDING PLANS PREPARED BY THE GARAGE

7. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

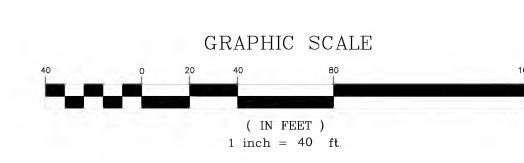
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



NOTES:

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES ÁS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED
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IMPROVEMENTS SHOWN ON THE PLANS.

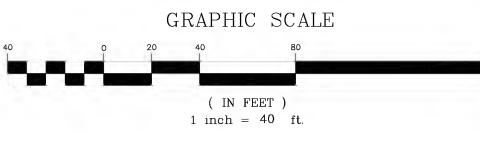
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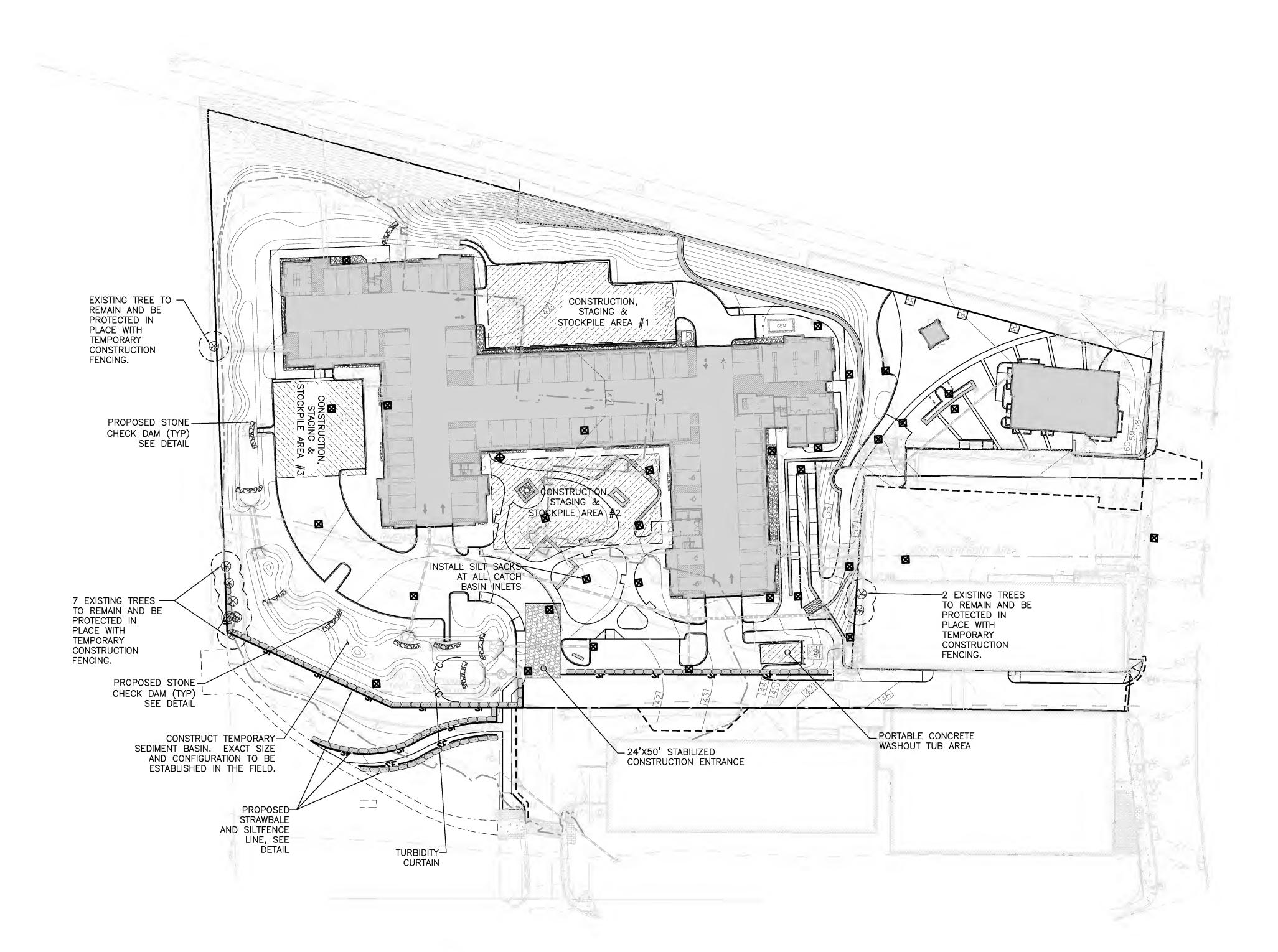
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)





MILLBROOK (PUBLIC - 40' WIDE) DRIVE

Residential & Retail Development 30-50 Mill Street Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
w w w . a l l e n m a j o r . c o m
100 COMMERCE WAY
P.O. BOX 2118
WOBURN MA 01888-0118
TEL: (781) 935-8899
FAX: (781) 935-8899
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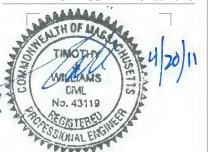
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drawing by: BDJ, RB drawing checked by: TJW drawing scale: 1"=40' drawing date: 03.15.10 drawing revisions: project number: 1670-01 rev. description

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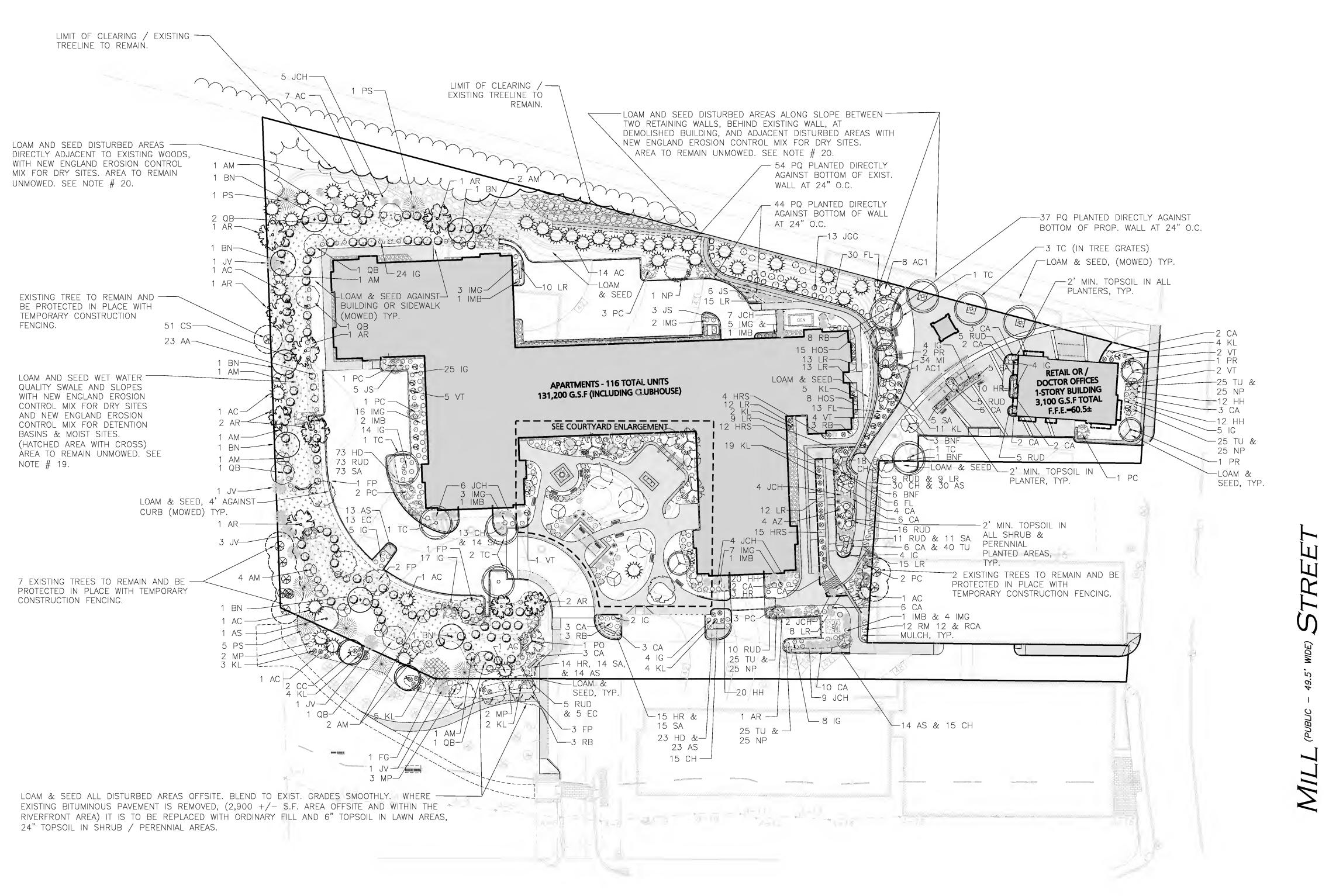
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

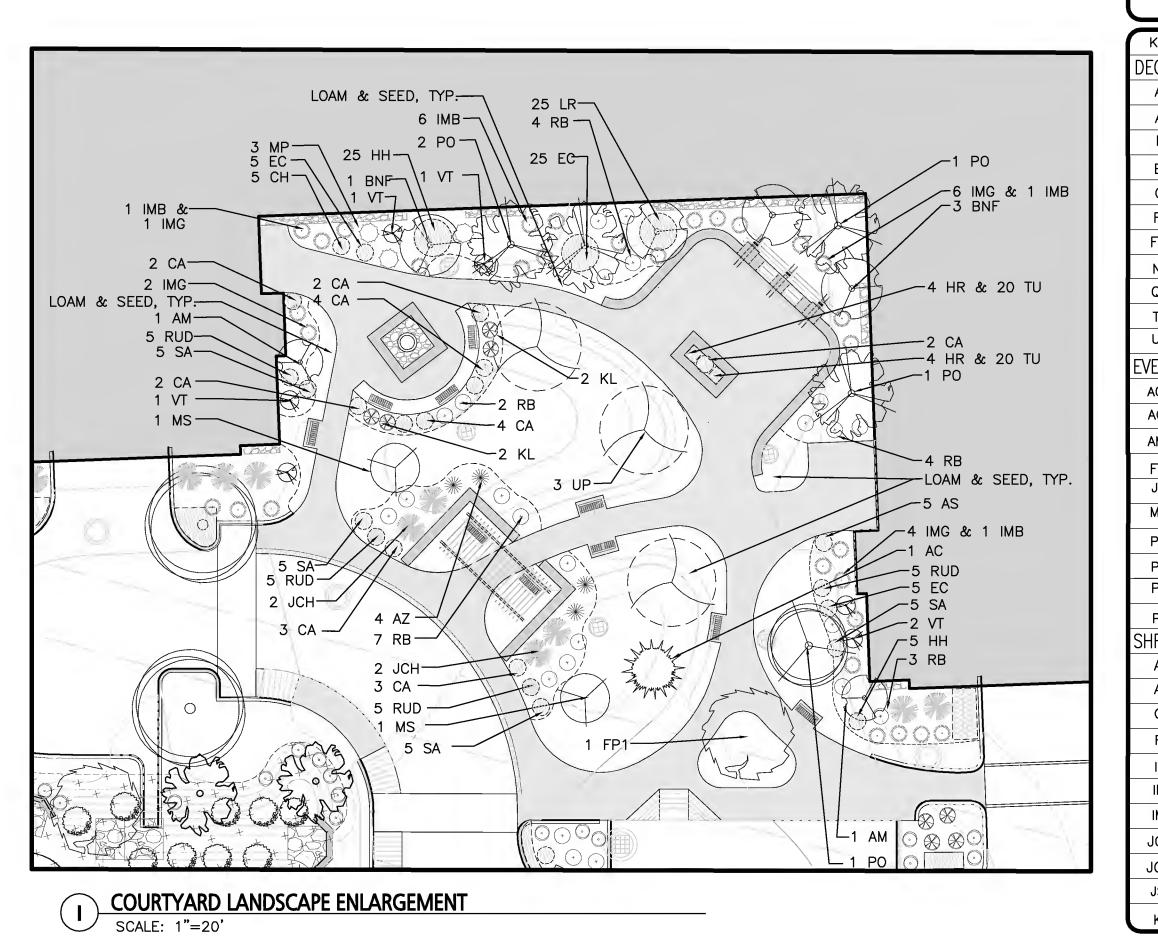
Proposed Erosion Control



EXISTING PROPERTY LINE TOP OF BANK 25' LOCAL NO -----DISTURB BUFFER 100' RIVERFRONT AREA/ ------100' JURISDICTIONAL BUFFER 200' RIVERFRONT AREA FLOOD LINE - FEMA 2010 -----EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE WITH TEMPORARY CONSTRUCTION FENCING. HEADWALL PROP. 5' CONTOUR PROP. 1' CONTOUR SIGN BOLLARD BUILDING CURB RETAINING WALL HEAVY DUTY CONCRETE SIDEWALK ADA ACCESSIBLE RAMP ROUNDED RIVERSTONE ADA DET. WARNING SURFACE STEEL GUARDRAIL WOOD GUARDRAIL CHAIN LINK FENCE —×——×—×—×— WOOD FENCE DECORATIVE FENCE ____o___o__ TRANSFORMER MULCHED PLANT BED PERENNIALS SHRUBS DECIDUOUS TREES FLOWERING TREES EVERGREEN TREES APPROX. LIMIT OF CLEARING & PROP. TREELINE

LEGEND:

MILLBROOK (PUBLIC - 40' WIDE) DRIVE



	Р	LANTING SCHEDULE- TREES,	SHRUBS, GROUNDCO	VERS & PI	ERENNIALS	
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUC	OUS TREES					
AR	9	ACER RUBRUM 'RED SUNSET'	RED MAPLE	3.5" CAL.	AS SHOWN	B&B
AS	1	ACER SACCHARUM 'CRESCENDO'	CRESCENDO SUGAR MAPLE	2.5" CAL.	AS SHOWN	B&B
BN	7	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10'-11' HT.	AS SHOWN	B&B, MULTI-STEMMED 3 STEM MIN.
BNF	14	BETULA NIGRA 'FOX VALLEY'	RIVER BIRCH FOX VALLEY	3" CAL.	AS SHOWN	B&B, MULTI-STEMMED 3 STEM MIN.
CC	2	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3.5" CAL.	AS SHOWN	B&B
FP	7	FRAXINUS PENNSYLVANICA	GREEN ASH	3.5" CAL.	AS SHOWN	В&В
FP1	1	FRAXINUS PENNSYLVANICA 'SUMMIT'	GREEN ASH	4" CAL.	AS SHOWN	B&B SEEDLESS
NP	1	NYSSA SYLVATICA (MALE)	BLACK GUM	3.5" CAL.	AS SHOWN	B&B
QB	7	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	AS SHOWN	B&B
TC	9	TILIA CORDATA 'GREENSPIRE'	LITTLELEAF LINDEN	3.5" CAL.	AS SHOWN	B&B
UP	3	ULMUS PARVIFOLIA 'ALLEE'	LACEBARK ELM	4" CAL.	AS SHOWN	B&B
EVERGRE	EN / FLO	DWERING TREES				
AC1	8	ABIES CONCOLOR	WHITE FIR	7'-8' HT	AS SHOWN	B&B
AC	30	ABIES CONCOLOR	WHITE FIR	9'-10' HT	AS SHOWN	B&B
AM	16	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6-7' HT.	AS SHOWN	B&B, MULTI-STEMMED
FG	1	FAGUS 'GRANDIFOLIA'	AMERICAN BEECH	3.5" CAL.	AS SHOWN	B&B
JV	7	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EASTERN RED CEDAR	8'-9' HT.	AS SHOWN	B&B
MS	2	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	3"-3.5" CAL.	AS SHOWN	B&B
PC	13	PYRUS CALLERYANA	AMERICAN HORNBEAM	3" CAL.	AS SHOWN	B&B
PO	5	PRUNUS X 'OKAME'	OKAME CHERRY	4" CAL.	AS SHOWN	B&B
PR	5	PRUNUS SARGENTII 'COLUMNARIS'	SARGENTII CHERRY	3" CAL.	AS SHOWN	(COLUMNAR) B&B
PS	7	PINUS STROBUS	WHITE PINE	8'-9' HT	AS SHOWN	B&B
SHRUBS	· ·	T. M. G. G. M. G.		0 0 111	7.0 0.10	
AA	23	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3' TO 3.5'	AS SHOWN	#3 POT
AZ	8	AZALEA DELAWARE VALLEY WHITE	AZALEA		AS SHOWN	#3 POT
CS	77	CORNUS SERICEA 'ISANTI'	REDOSIER DOGWOOD		AS SHOWN	#3 POT
FL	36	FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	3' TO 3.5'		
IG	99	ILLEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3.5' TO 4'		#5 POT
IMB	9	ILEX MESERVEAE 'CHINA BOY'	HOLLY - CHINA BOY	3.5' TO 4'	AS SHOWN	MALE, #5 POT
IMG	70	ILEX MESERVEAE 'CHINA GIRL'	HOLLY - CHINA GIRL	3.5' TO 4'	AS SHOWN	FEMALE, #5 POT
JCH	45	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'		7-8' HT.	AS SHOWN	
JGG	13	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER	#5 POT	4' 0.C.	#5 POT
JS	14	JUNIPERUS C. SARGENTII 'GLAUCA'		24"-36"	AS SHOWN	STAGGERED
KL	69	KALMIA LATIFOLIA F. MYRTIFOLIA 'ELF'	MOUNTAIN LAUREL MINATURE MOUNTAIN	#5 POT	AS SHOWN	POTTED COMPACT FORM OF SPECIES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
SHRUBS	· •					
MP	10	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	4-5' HT.	AS SHOWN	B&B
RB	35	RHODODENDRON BOULE DE 'NEIGE'	BOULE DE NEIGE RHODENDRON	3.5' TO 4'	AS SHOWN	В&В
RM	12	RHODODENDRON MAXIMUM 'ROSEUM'	COMPACT ROSEBAY RHODENDRON	3.5' TO 4'	AS SHOWN	COMPACT FORM OF SPECIES, B&I
RCA	12	RHODODENDRON 'CATAWBIENSE ALBUM'	WHITE CATAWBA RHODODENDRON	3.5' TO 4'	AS SHOWN	B&B
VT	19	VIBURNUM TRILOBUM 'COMPACTUM'	AMERICAN CRANBERRYBUSH	4'-5' HT.	AS SHOWN	B&B
PERENN	IIALS, GRO	UNDCOVERS, VINES & BULBS				-1
AS	72	ASTER NOVAE ANGLIAE 'PURPLE DOME'	NEW ENGLAND ASTER	3 GAL.	18" O.C.	STAGGERED
CA	81	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL.	30" O.C.	STAGGERED
СН	81	LEUCANTHEMUM X SUPERBUM 'BECKY'	CHRYSANTHEMUM SHASTA DAISY	3 GAL.	12" O.C.	STAGGERED
EC	53	ECHINACEA PURPUREA	PURPLECONE FLOWER	3 GAL.	18" O.C.	STAGGERED
МІ	34	MICROBIOTA DECUSSATA	SIBERIAN CARPET	3 GAL.	36" O.C.	STAGGERED
HD	96	HEMEROCALLIS 'RED HOT RETURNS'	DAYLILY	2 GAL.	18" O.C.	STAGGERED
HOS	23	HOSTA PATRIOT	PATRIOT HOSTA	2 GAL.	18" O.C.	STAGGERED
НН	94	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	2 GAL.	18" O.C.	STAGGERED
HR	68	HEMEROCALLIS 'ROSEY RETURNS'	DAYLILY	2 GAL.	18" O.C.	STAGGERED
HRS	19	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	3 GAL.	18" O.C.	STAGGERED
LR	125	LIRIOPE MUSCARI 'VARIEGATA'	LIRIOPE	2 GAL.	12" O.C.	STAGGERED
NP	100	NARCISSUS PSEUDONARCISSUS	DAFFODIL	BULBS	8" O.C.	STAGGERED
PQ	135	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	2 GAL.	24" O.C.	AGAINST WALL
RUD	167	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	2 GAL.	18" O.C.	STAGGERED
SA	157	SEDUM AUTUMN JOY	SEDUM	3 GAL.	18" O.C.	STAGGERED
TU	180	TULIPA 'BLUE RIBBON MIXTURE'	TULIPS	BULBS	6" O.C.	STAGGERED

TOWN OF ARLINGTON, ZONING SUMMARY:

YARD AND SETBACK REGULATIONS SECTION 6.16 (A) SCREENING AND SPACE BUFFERS

REQUIRED: SCREENING AND SPACE BUFFERS SHALL BE REQUIRED IN ANY INDUSTRIAL (I) OR BUSINESS (B) DISTRICT WHICH ABUTS CERTAIN BUILDABLE RESIDENTIAL LOTS. THE MINIMUM WIDTH OF THIS STRIP SHALL BE AS FOLLOWS. A B2A DISTRICT (SUBJECT PROPERTY) ABUTTING AN R1 DISTRICT (HIGH

PROPOSED: A LANDSCAPE BUFFER GREATER THAN 15' WIDE, HAS BEEN PROVIDED ALONG THE WESTERN AND SOUTHWESTERN PORTIONS OF THE PROPERTY WHICH ABUT THE R1 DISTRICT. WITHIN THIS BUFFER, EXISTING TREES HAVE BEEN PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE. PROPOSED PLANTINGS OF AT LEAST 50% EVERGREEN PLANTS, WITH AT LEAST 3' IN WIDTH AND 6' IN HEIGHT HAVE BEEN PROVIDED.

SEE LAYOUT SHEET FOR PERCENTAGE OF LANDSCAPING WITHIN PARKING AREA.

SCHOOL & EXISTING PARK) SHALL HAVE A 15' MIN. STRIP.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

MINIMUM LOT FRONTAGE

MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE 1 inch = 40 ft.

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WP East Development Enterprises, LLC

Residential &

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

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TJW 1"=40' 03.15.10 project number: rev. description

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1 PER TOWN COMMENTS 06-16-10

ALLEN & MAJOR ASSOCIATES, INC.

Landscape

C-6A

LANDSCAPE NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ARLINGTON, MA.
- 2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE, FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF NAY CONFLICTS IN WRITING.
- 4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF
- 10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL
- 11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR SPRING PLANTING.
- 12. TREES SHALL HAVE A MINIMUM CALIPER PER PLANT SCHEDULE ONE FOOT ABOVE THE ROOT
- 13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- 14, ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- 15. ALL TREE STAKES SHALL BE STAINED DARK BROWN.

MIX SPECIFICATION ABOVE)

- 16. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- 17. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- 18. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER AND APPROVED PRIOR TO PLACEMENT.
- 19. SPREAD THE FOLLOWING 2 SEED MIXES AT WET WATER QUALITY GRASS SWALE AS SHOWN ON THE PLAN.
- 1 NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (SEE SEED MIX SPECIFICATION ABOVE)
- 2. NEW ENGLAND EROSION CONTROL MIX FOR DETENTION BASINS & MOIST SITES (SEE SEED
- MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF \$\frac{1}{2}\$ AND SPREAD AT A RATIO OF 1 LB PER 500 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.
- SEEDED AREAS TO BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE. A NON-INVASIVE WINTER RYE MAY BE ADDED TO THE MIX TO TO OBTAIN SOIL STABILIZATION IN THE FALL.
- 20. SPREAD NEW ENGLAND EROSION CONTROL MIX FOR DRY SITES AT THE REAR SLOPE OF THE BUILDING AS SHOWN ON THE PLAN. (SEE SEED MIX SPECIFICATION ABOVE)
- SPREAD AT A RATIO OF 1 LB PER 500 SQ. FT. SEED MIX AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.
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- 21. LANDSCAPE AREAS NOTED ON THE PLAN, INCLUDING MOWED LAWNS, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DO NOT IRRIGATE WET WATER QUALITY GRASS SWALE. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERNNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, A SUBMETER FOR THE IRRIGATION SYSTEM, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- 22. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL TO BE TILLED TO A DEPTH OF AT LEAST 12" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- 23. ALL LANDSCAPE SHRUBS, PERENNIALS, AND TREES TO BE INSTALLED A MINIMUM OF 24" AWAY FROM BUILDING STRUCTURE.

WET WATER QUALITY GRASS SWALE NOTES:

- 1. GRADING. AND PLANTING OF WET WATER QUALITY SWALE SHALL BE COMPLETED IN EARLY PHASES OF EARTHWORK CONSTRUCTION. PLANTS, MUST BE ESTABLISHED PRIOR TO CONNECTING STORM DRAINAGE SYSTEM, AND STARTING BITUMINUOUS PAVING. PLANTS SHALL HAVE A MINIMUM OF 2 MONTHS GROWING, BE ESTABLISHED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING BITUMINUOUS PAVING AND CONNECTING STORM DRAINAGE SYSTEM.
- 2. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE SWALE AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

NEW ENGLAND WETLAND PLANTS INC. SEED MIXES (UNMOWED AREAS): (SEE LANDSCAPE NOTES;, FOR APPLICATION RATE OF SEED MIXES)

NEW ENGLAND EROSION CONTROL / RESTORATION MIX (FOR DETENTION BASINS AND MOIST SITES): (BY NEW ENGLAND WETLAND PLANTS INC.):

•		,
	COMMON NAME	LATIN NAME
	UPLAND BENTGRASS	AGROSTIS PERENNANS
2.	CREEPING BENTGRASS	AGROSTIS STOLONIFERA
3.	BIG BLUESTEM	ANDROPOGON GERARDII
1.	FOX SEDGE	CAREX VULPINOIDEA
5.	CREEPING RED FESCUE	FESTUCA RUBRA

SOFT RUSH SWITCHGRASS GREEN BULRUSH NEW ENGLAND ASTER 10. ELYMUS VIRGINICUS 11. EUPATORIUM

JUNCUS EFFUSUS PANICUM VIRGATUM SCIRPUS ATROVIRENS ASTER NOVAE-ANGLIAE VIRGINIA WILD RYE PERFOLIATUM BONESET 12. EUTHAMIA GRAMINIFOLIA (SOLIDAGO G.) GRASS LEAVED GOLDENROD 13. ONOCLEA SENSIBILIS SENSITIVE FERN 14. SCIRPUS CYPERINUS WOOL GRASS

NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (BY NEW ENGLAND WETLAND PLANTS INC., 820 WEST STREET,

AMHERST, MA, TEL: 413-548-8000): 1. UPLAND BENTGRASS ROUGH BENTGRASS/TICKLEGRASS BLUE GRAMA

CANADA WILD RYE CREEPING RED FESCUE ANNUAL RYEGRASS (NATURALIZED) PERRENIAL RYEGRASS (NATURALIZED) LITTLE BLUESTEM

SORGHASTRUM NUTANS 9. INDIAN GRASSS

AGROSTIS PERENNANS AGROSTIS SCABRA BOUTELOUA GRACILIS ELYMUS CANADENSIS FESTUCA RUBRA LOLIUM MULTIFLORUM LOLIUM PERENNE SCHIZACHYRIUM SCOPARIUM

LOAM AND SEEDING NOTES (MOWED AREAS):

CONTRACTOR SHALL SEED DISTURBED AREAS PER SPECIFICATIONS BELOW (EXCEPT AS OTHERWISE NOTED FOR DETENTION BASINS AND NOTED SLOPES)

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT <u>PURITY</u>	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

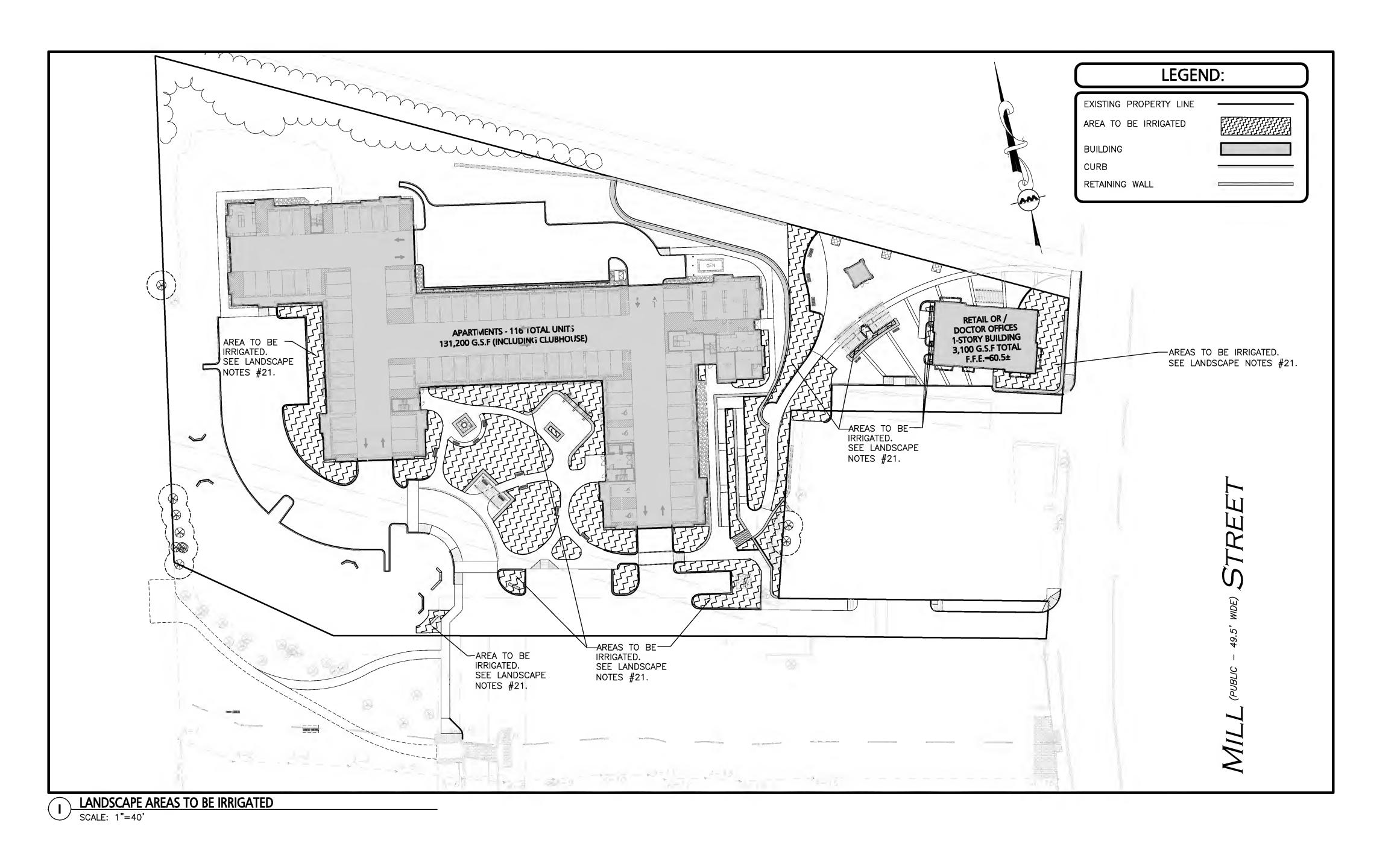
1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.

2. SEEDING TO BE COMPLETED BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS.

3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THÁN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.

4. LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE

5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



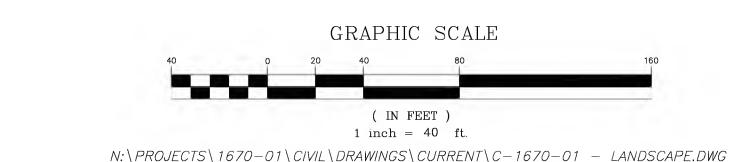
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360 Merrimack Street Lawrence, MA 01843

Residential & Development

WP East

Development

Arlington, MA

Enterprises, LLC One Concord Farms 490 Virginia Road, Suite 2

Concord, MA ASSOCIATES, INC

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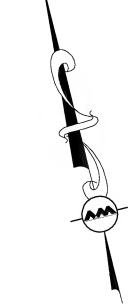
PER TOWN COMMENTS 06-16-10

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Proposed Landscape

C-6B

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NATURAL GAS

GENERATOR SERVICE

TEL/DATA SERVICE

ELECTRICAL SERVICE

RESIDENTIAL —

TRANSFORMER

MILLBROOK (PUBLIC - 40' WIDE) DRIVE

4" CONDUIT FOR PUMP-STATION ELECTRICAL

SUPPLY, AUXILIARY POWER

2" PVC CONDUIT

FOR HIGH WATER

ALARM, CONNECTS

QUADRANT (TYP)

RISER (TYP)-

2. RISERS TO BE INSTALLED ON ADJACENT QUADRANTS.

NOTES:

1. RISERS TO BE INSTALLED ON MAXIMUM OF TWO QUADRANTS PER POLE.

1. RISERS TO BE INSTALLED ON ADJACENT QUADRANTS.

3. MAXIMUM OF TWO RISERS PER QUADRANT (MAXIMUM 4 RISERS PER

4. ON POLES WITH ELECTRICAL RISERS, ONE RISER TO INSTALLED AND THE OTHER SHALL BE CUT AND CAPPED AT THE BASE OF THE POLE.

TYPICAL UTILITY POLE WITH RISERS

TO MISSION DIALER

FROM_EMERGENCY GENERATOR AND PUMP CONTROL PANEL, ALARM AND MISSION DIALER

GENERATOR (BY OTHERS)

FELECTRICAL/TEL DATA

FEED FROM RETAIL BUILDING TO AMENITIES

— EXISTING OVERHEAD

WIRES TO REMAIN

_EXIST. UP #56/1

EXISTING UTILITY POLES AND

OHW TO BE REMOVED

-EXISTING UTILITY POLES AND

OHW TO BE REMOVED

APARTMENT ELECTRICAL

RISERS (4)

RISERS (2)

EXIST.

BUILDING

a UP #850/7

a UP #850/8

- OVERHEAD ELECTRIC

WIRES FOR RETAIL

AND COMMUNICATION

LEGEN	D:
UTILILTY POLE	Ø
ELECTRIC MANHOLE/SPLICE	вох 🔘
SWITCHING STATION	S
HAND HOLE	нн
ELECTRICAL CONDUIT	— Е —— Е —
ELEC/TELE/CABLE CONDUIT	E-T-C
TELE/CABLE CONDUIT	T-C T-C
TELE/FIRE CONDUIT	— T-F — T-F —
NSTAR CONDUIT	NSTAR
RCN CONDUIT	
CINGULAR CONDUIT	C
TELE/CABLE/FIBEROPTIC	TCF TCF
TELE/CABLE/FIRE ALARM	■ TCF ■ TCF ■

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES ÁS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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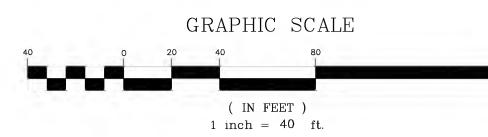
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Residential & Retail Development

30-50 Mill Street Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
w w w . a l l e n m a j o r . c o m
100 COMMERCE WAY
P.O. BOX 2118
WOBURN MA 01888-0118
TEL: (781) 935-8899
FAX: (781) 935-8899
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Residential &

Retail

Development

30-50 Mill Street

Arlington, MA

WP East

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One Concord Farms 490 Virginia Road, Suite 2

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Amenities Plan

COMMENTS

BDJ, RB

TJW

1"=10'

03.15.10

1670-01

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drawing checked by:

drawing scale:

drawing date:

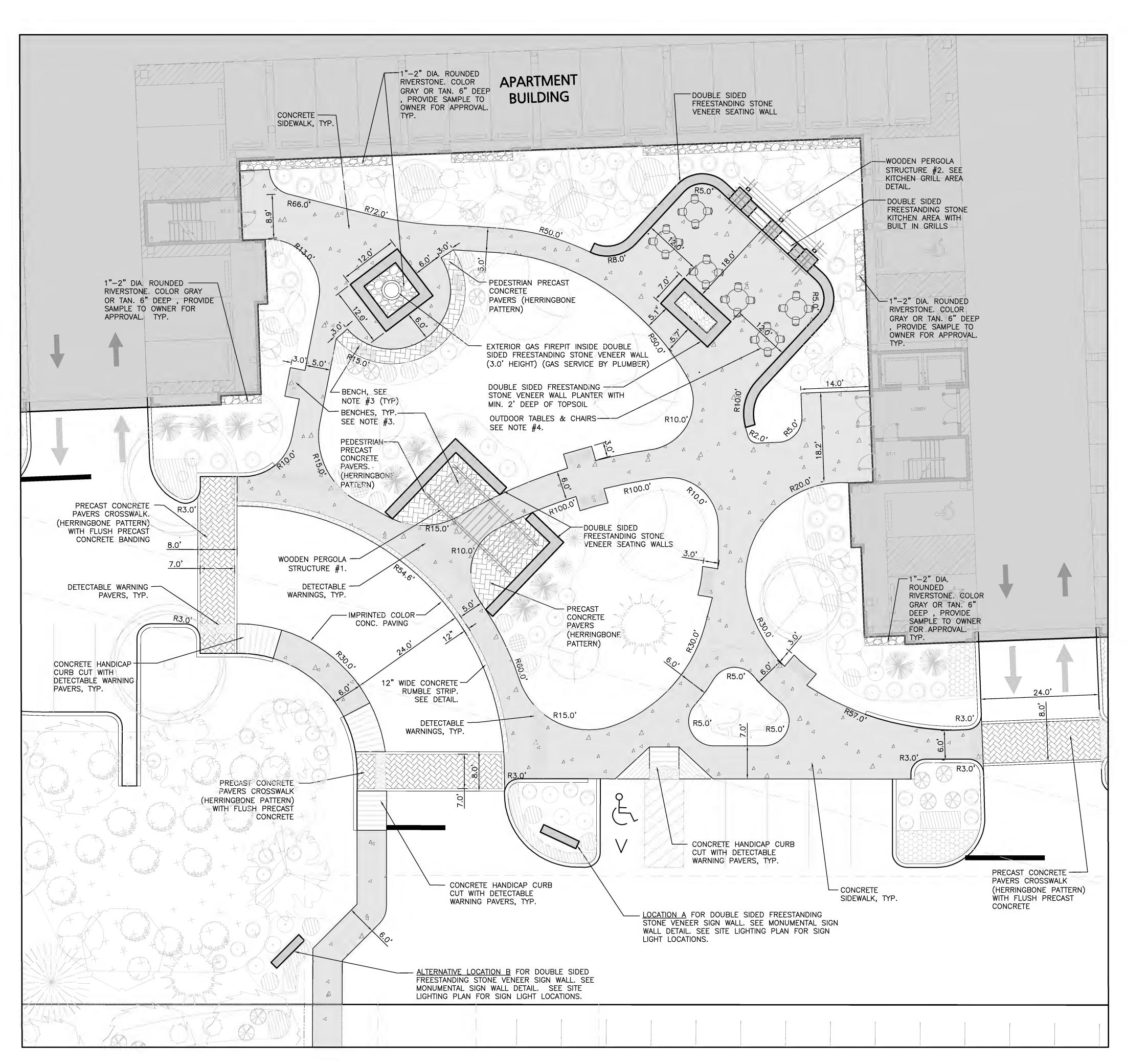
drawing revisions:

project number:

rev. description

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DETAILED COURTYARD AMENITIES PLAN SCALE: 1"=10'

LEGEND: EXISTING PROPERTY LINE BOLLARD BUILDING BUILDING OVERHANG M BUILDING ARCHITECTURE CURBING RETAINING WALL PARKING STRIPING ROADWAY STRIPING TRAFFIC ARROWS HEAVY DUTY CONCRETE HEAVY DUTY PAVEMENT CONCRETE SIDEWALK PAVER SIDEWALK ROUNDED RIVERSTONE ADA ACCESSIBLE RAMP ADA DET. WARNING SURFACE SNOW STORAGE SETBACK LINE BASELINE _____ BASELINE DATA LABEL BASELINE STATIONING 10+00 PARKING COUNT CHAIN LINK FENCE DECORATIVE FENCE TRANSFORMER SOLID YELLOW CENTER LINE SYCL STOP LINE PRECAST CONCRETE CURB PCC VERTICAL GRANITE CURB VGC CAPE COD BERM CCB

NOTES:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- BENCHES TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS. 25" X 32" X 70". POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- 4. OUTDOOR TABLES AND CHAIRS TO BE FROM LANDSAPE FORMS; MODEL: MARNEAUX SOLID SURFACE TABLE; FREESTANDING, 42" ROUND X 29" HEIGHT. WITH CANTENA SUPPORT, POWERCOATED. COLOR SELECTED BY OWNER. EACH TABLE TO HAVE 4 CHAIRS. CHAIRS TO BE LANDSCAPE FORMS; MODEL VERONA, 25" X 23" WITH ARMRESTS AND POWDERCOATED. COLOR SELECTED BY OWNER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

 MINIMUM LOT FRONTAGE MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB) SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

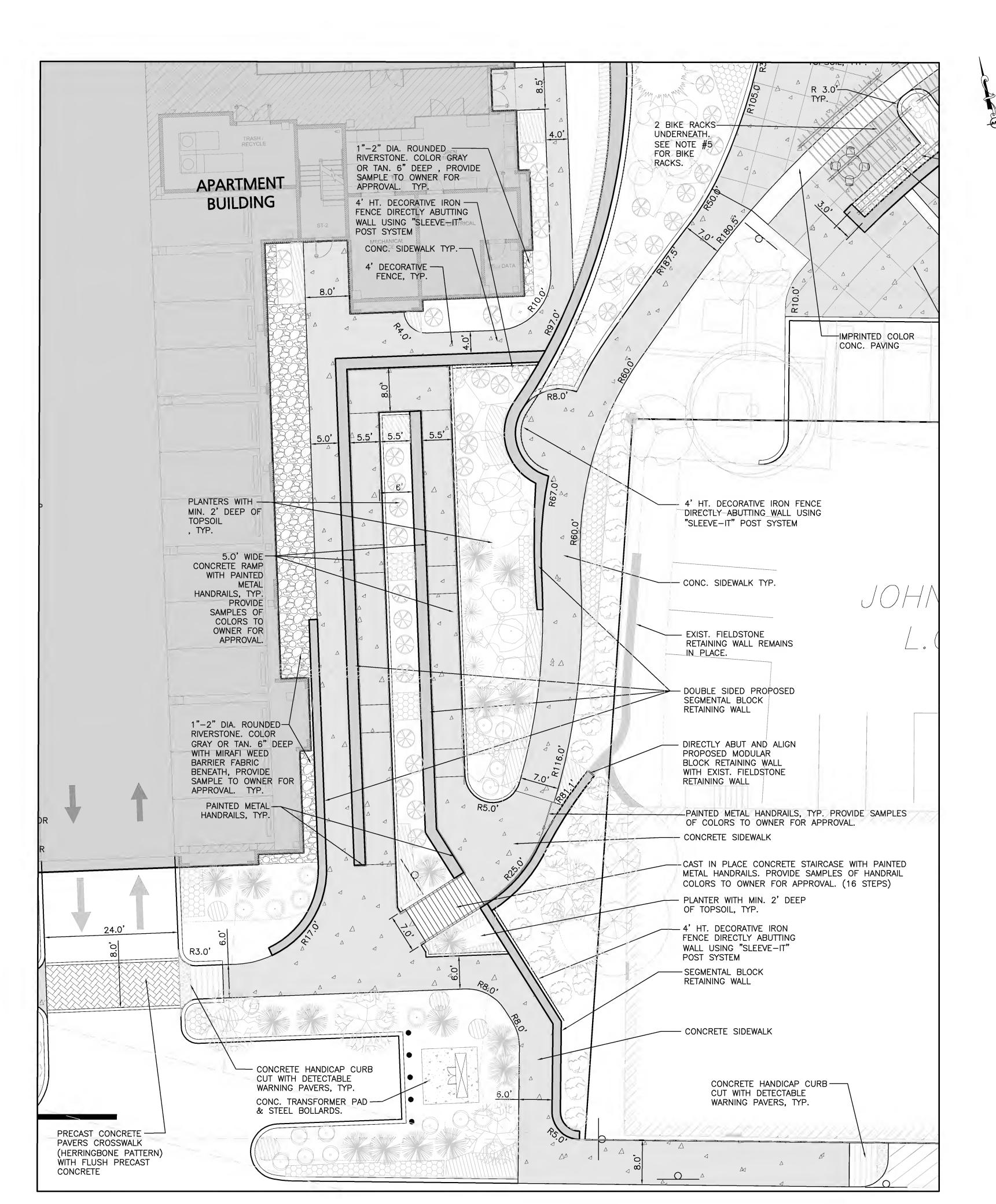
SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE 1 inch = 10 ft.

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DETAILED EASTERN RAMP AMENITIES PLAN



LEGEND):
EXISTING PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING OVERHANG	
BUILDING ARCHITECTURE	
CURBING	
RETAINING WALL	
PARKING STRIPING	< (J.o
ROADWAY STRIPING	
TRAFFIC ARROWS	→ →
HEAVY DUTY CONCRETE	
HEAVY DUTY PAVEMENT	
CONCRETE SIDEWALK	4 64 4 4 4 6
PAVER SIDEWALK	
ROUNDED RIVERSTONE	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SNOW STORAGE	200000
SETBACK LINE	
BASELINE	
BASELINE DATA LABEL	10
BASELINE STATIONING	10+00
PARKING COUNT	10
CHAIN LINK FENCE	
DECORATIVE FENCE	
TRANSFORMER	⊠ .
SOLID YELLOW CENTER LINE	SYCL
STOP LINE	SL
PRECAST CONCRETE CURB	PCC
VERTICAL GRANITE CURB	VGC
CAPE COD BERM	ССВ

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- 3. BENCHES TO BE FROM LANDSCAPE FORMS; MODEL:
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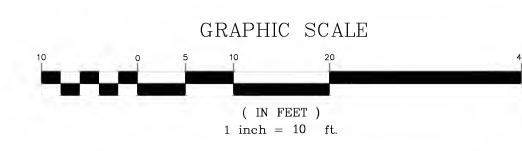
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



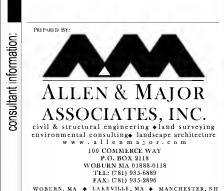
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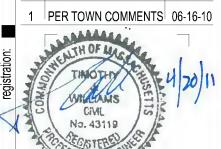
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	rev.	description	date

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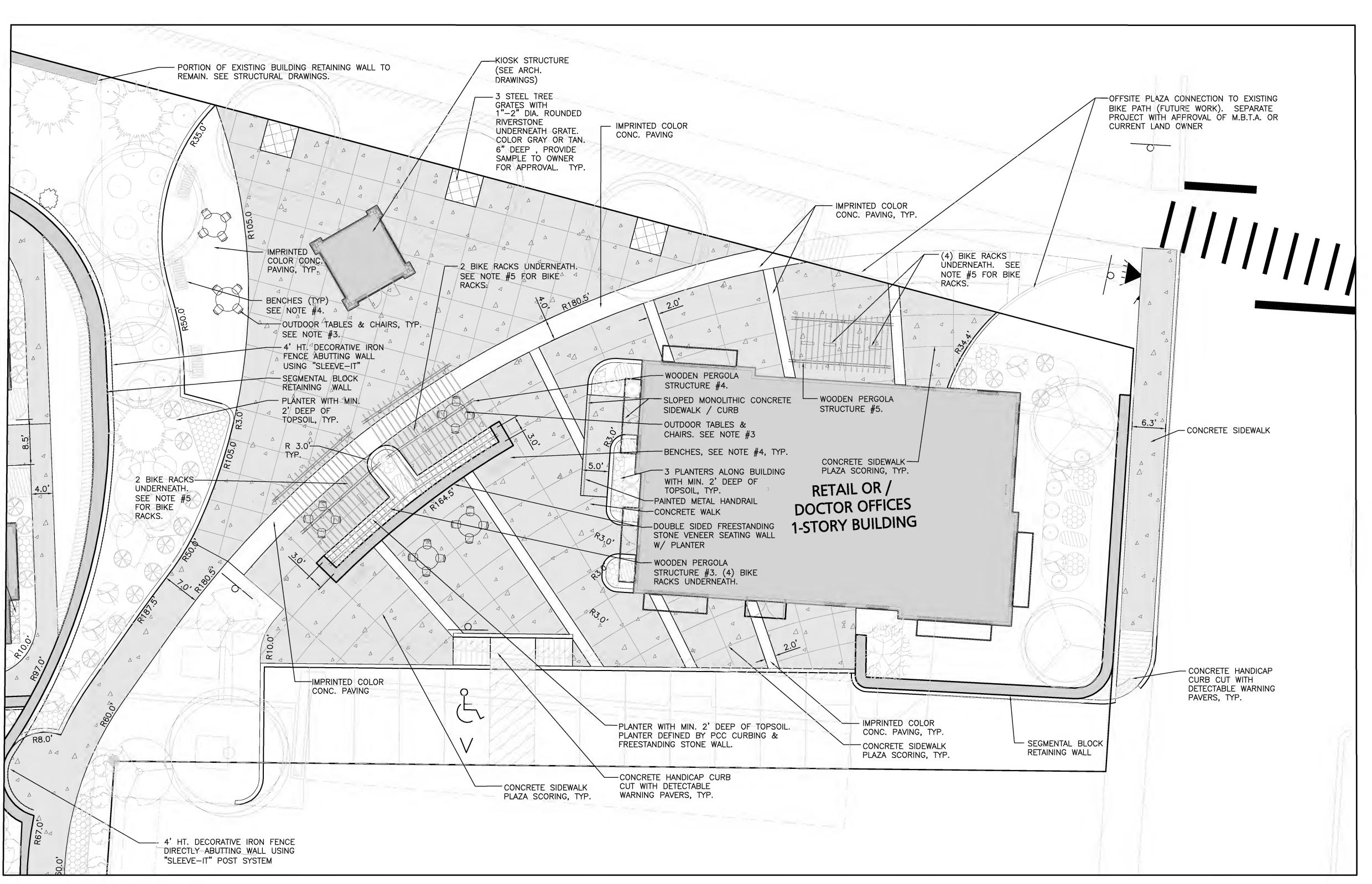
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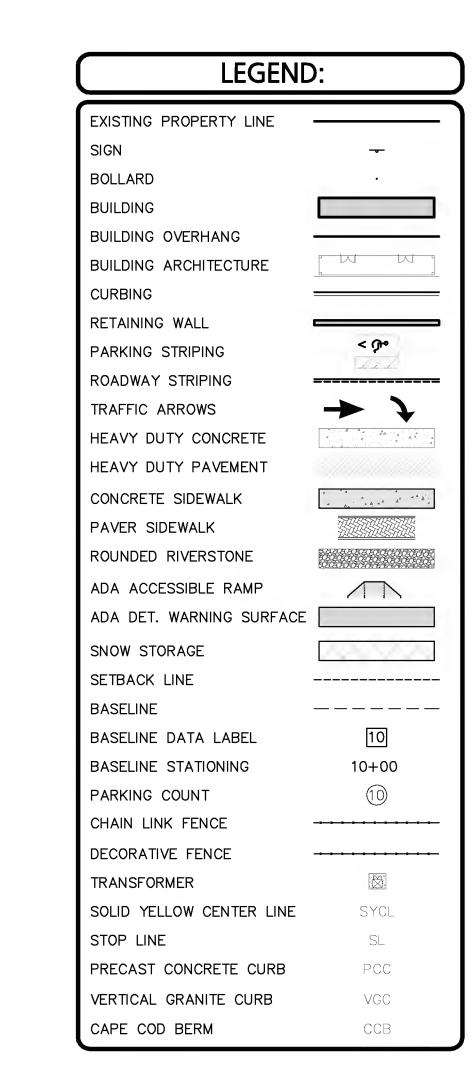
Proposed Amenities Pla

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DETAILED RETAIL PLAZA AMENITIES PLAN

SCALE: 1"=10"



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- 3. OUTDOOR TABLES AND CHAIRS TO BE FROM LANDSCAPE FORMS, MODEL: CHARLIE TABLE, 67" TABLE WITH UMBRELLA HOLE. 67" X 30" X 27". POWERCOAT COLOR SELECTED BY OWNER. TABLE TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- 4. BENCHES TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS. 25" X 32" X 70". POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- 5. BIKE RACKS TO BE FROM LANDSCAPE FORMS; MODEL FLO BIKE RACK 28" X 26" X 32" POWERCOATED AND SURFACE MOUNTED. SURFACE MOUNT PER MANUFACTURERS RECOMMENDATIONS. POWERCOAT COLOR SELECTED BY OWNER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

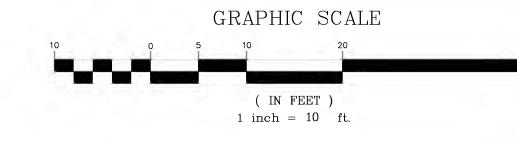
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Amenities Plan

c-9c

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Proposed Spot Grade

C-10A

TJW

1"=10' 03.15.10

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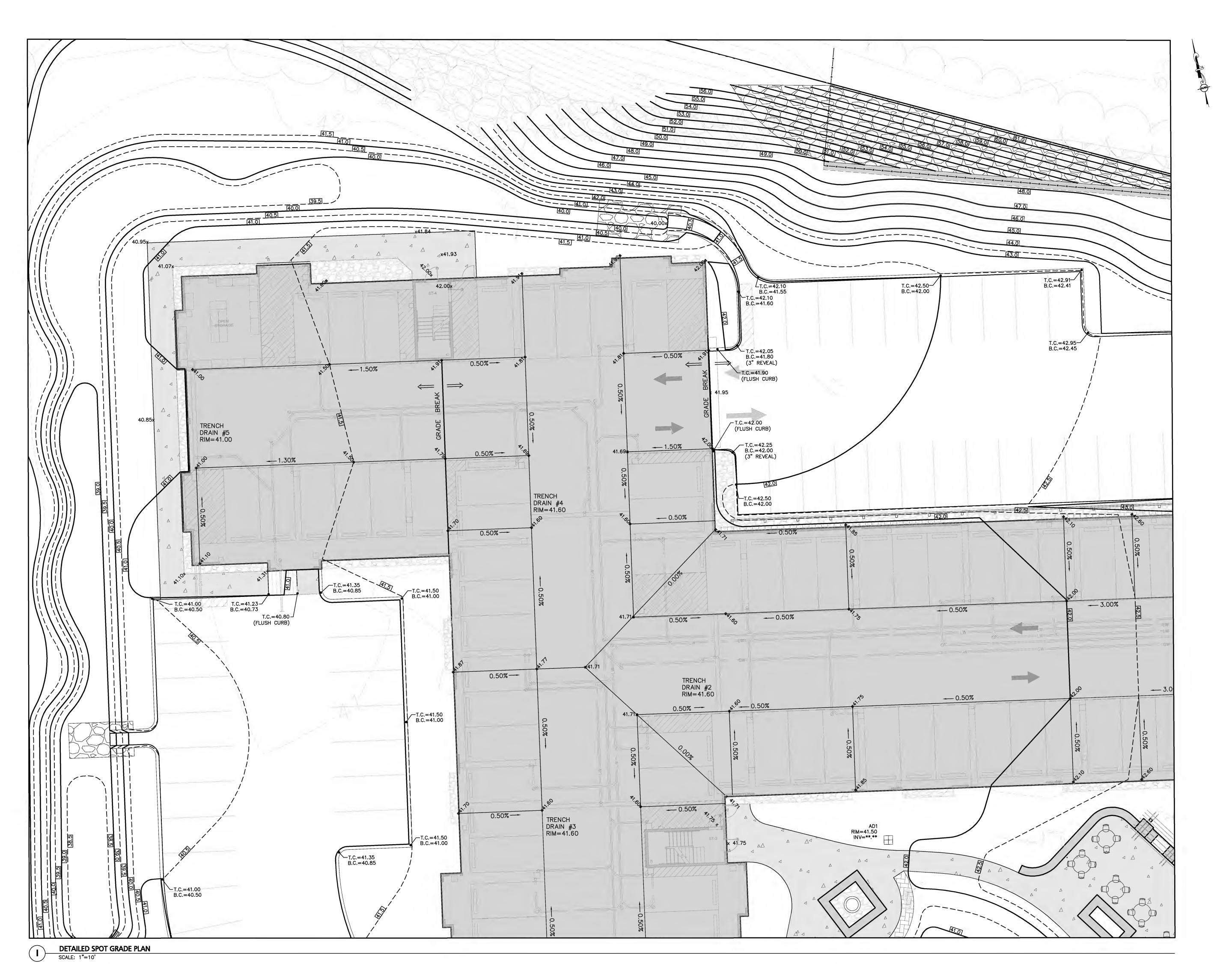
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APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

MINIMUM LOT FRONTAGE

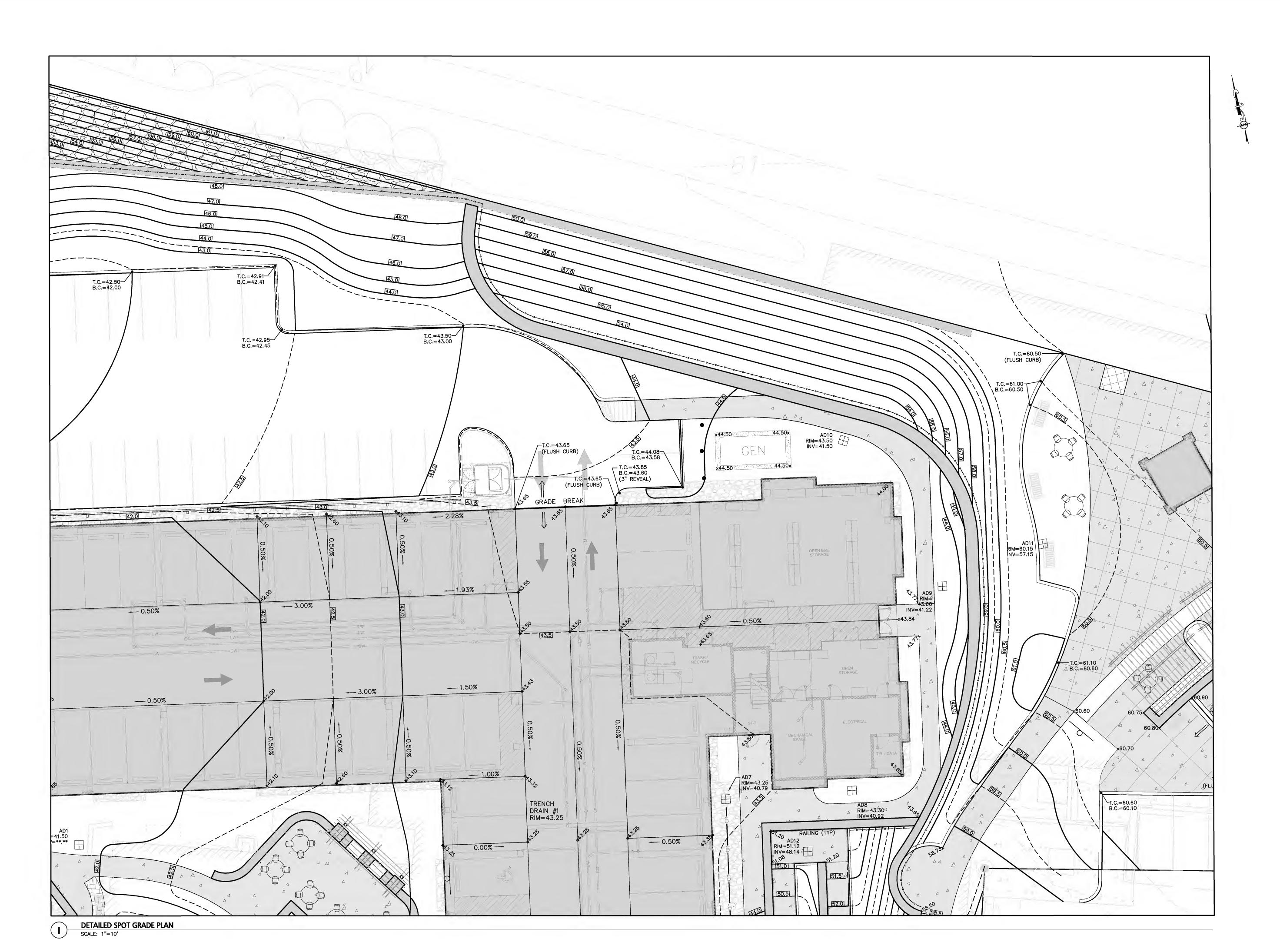
MAXIMUM BUILDING HEIGHT/STORIES

ZONING BYLAW HAS BEEN GRANTED:

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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE (IN FEET) 1 inch = 10 ft.



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GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

 $N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01$ - SPOT GRADE.DWG



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drawing date:

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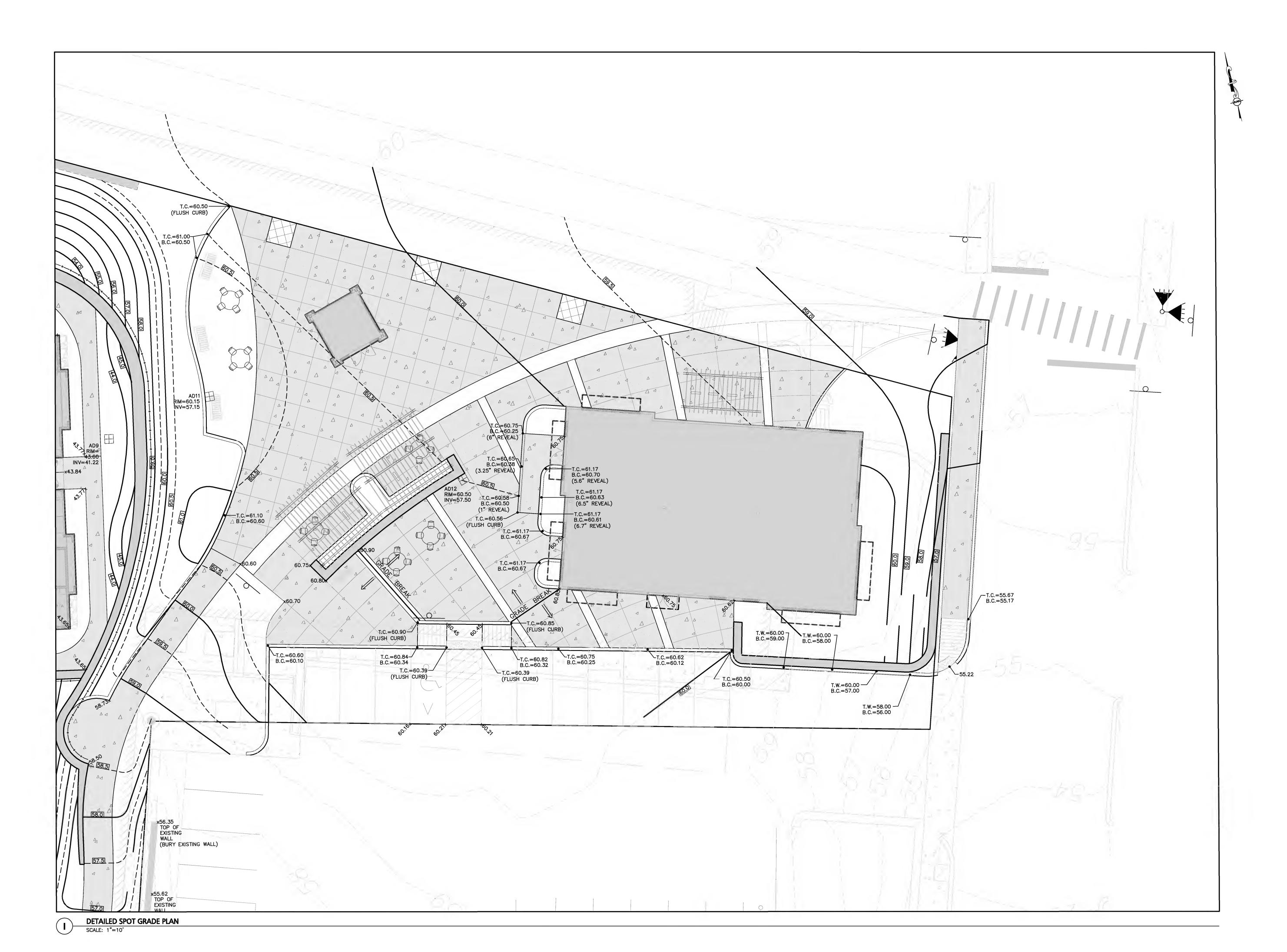
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed Spot Grade

drawing number:



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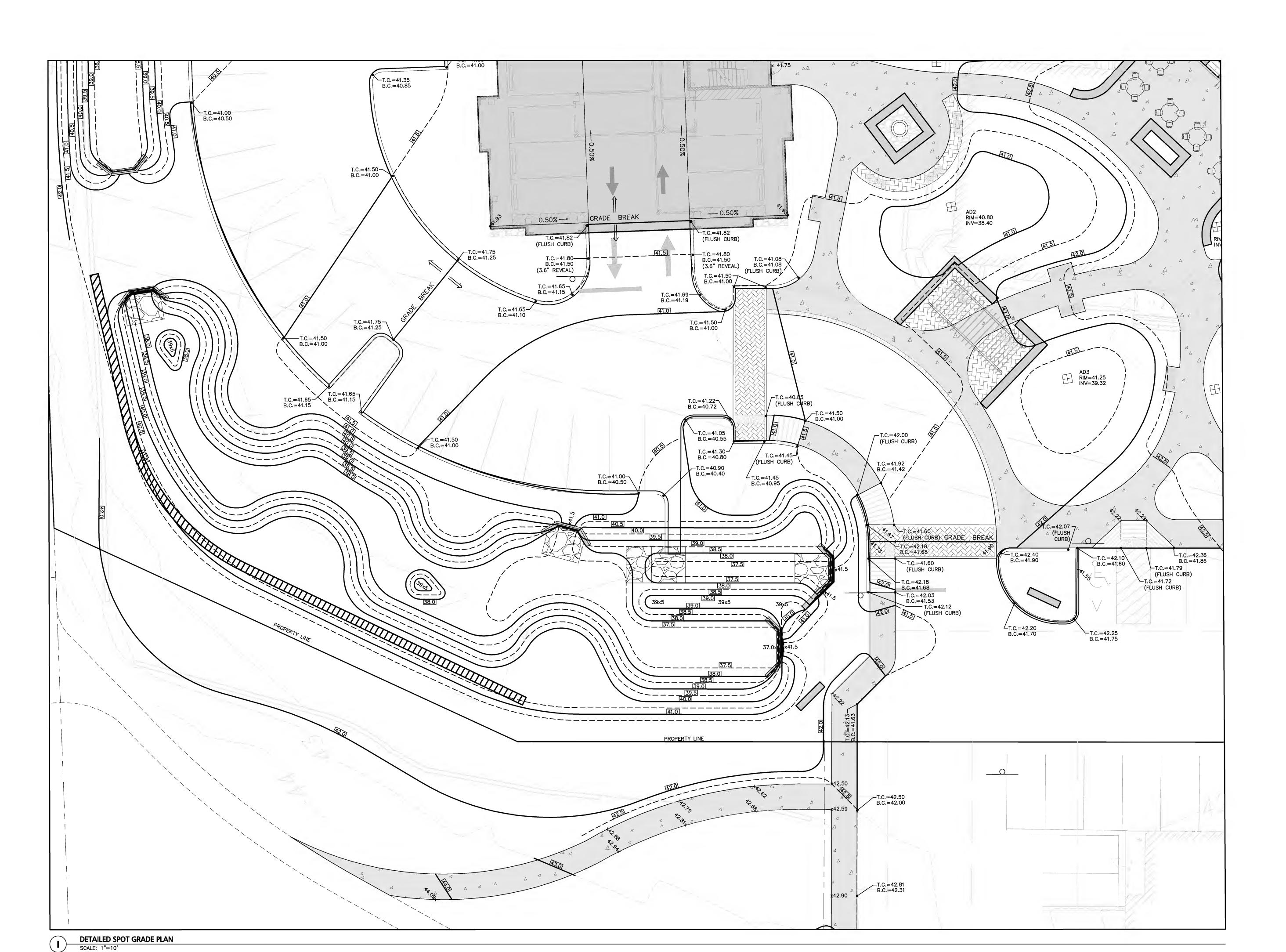
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Proposed Spot Grade

c-10C



architecture interiors planning

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THAOTHY CANS CIVIL NO. 43119

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Proposed Spot Grade
Plan

drawing number:

GRAPHIC SCALE

(IN FEET) 1 inch = 10 ft.

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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

MINIMUM LOT FRONTAGE



Mill Street
Residential &
Retail
Development

360 Merrimack Street Lawrence, MA 01843 phone: 978.989.9900 www.cube3studio.com

30-50 Mill Street Arlington, MA

WP East
Development
Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

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P.O. BOX 2118

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drawing by:

BDJ, RB

drawing checked by:

TJW

drawing scale:

1"=10'
drawing date:

03 15 10

drawing date:

drawing revisions:

project number:

1670-01

rev. description date

11 PERMIT-GMP SET 04-20-11
10 MWRA 8M PERMIT 03-08-11

9 50% ARB SUBMISSION 03-04-11
8 SECTION 8.12A(11) 02-17-11
SPECIAL PERMIT
7 PER TOWN COMMENTS 01-11-11
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3 PER TOWN COMMENTS 10-27-10

2 PER TOWN COMMENTS 10-20-10 1 PER TOWN COMMENTS 06-16-10

THOTH COMMENTS 06-16-10

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed Spot Grade

drawing number:

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

MINIMUM LOT FRONTAGEMAXIMUM BUILDING HEIGHT/STORIES

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

MAXIMUM BUILDING HEIGHT/STORIES

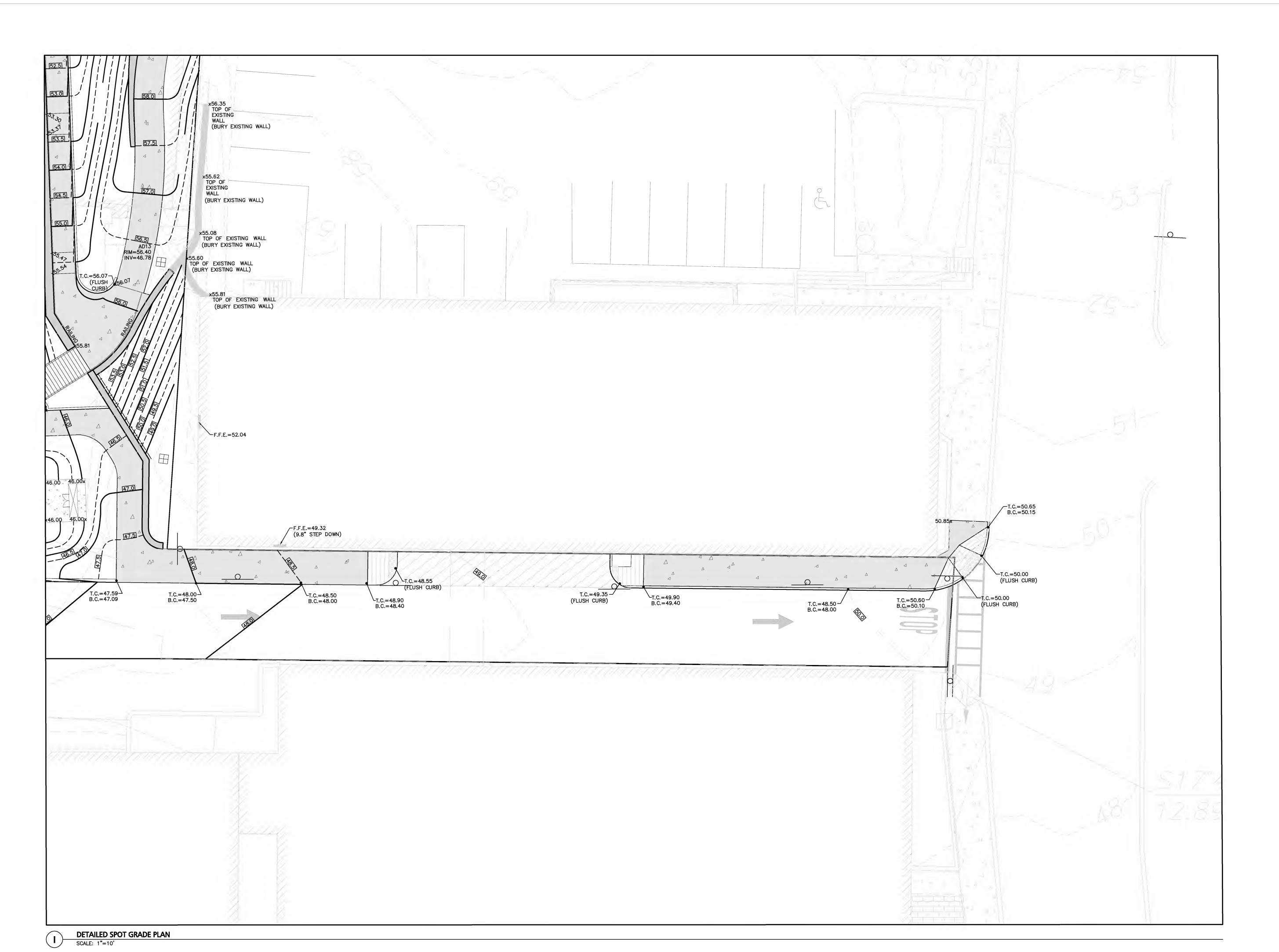
SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE

(IN FEET)

1 inch = 10 ft.



architecture interiors planning

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phone: 978.989.9900 www.cube3studio.com

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drawing information:	drawing scale:	1"=10'
inform	drawing date:	03.15.10
wing	drawing revisions:	
dra	project number:	1670-01
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Andrams Criminal No. 43119

CONTERED THE STUDIES OF THE STUDIES OF

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed Spot Grade Plan

drawing number:

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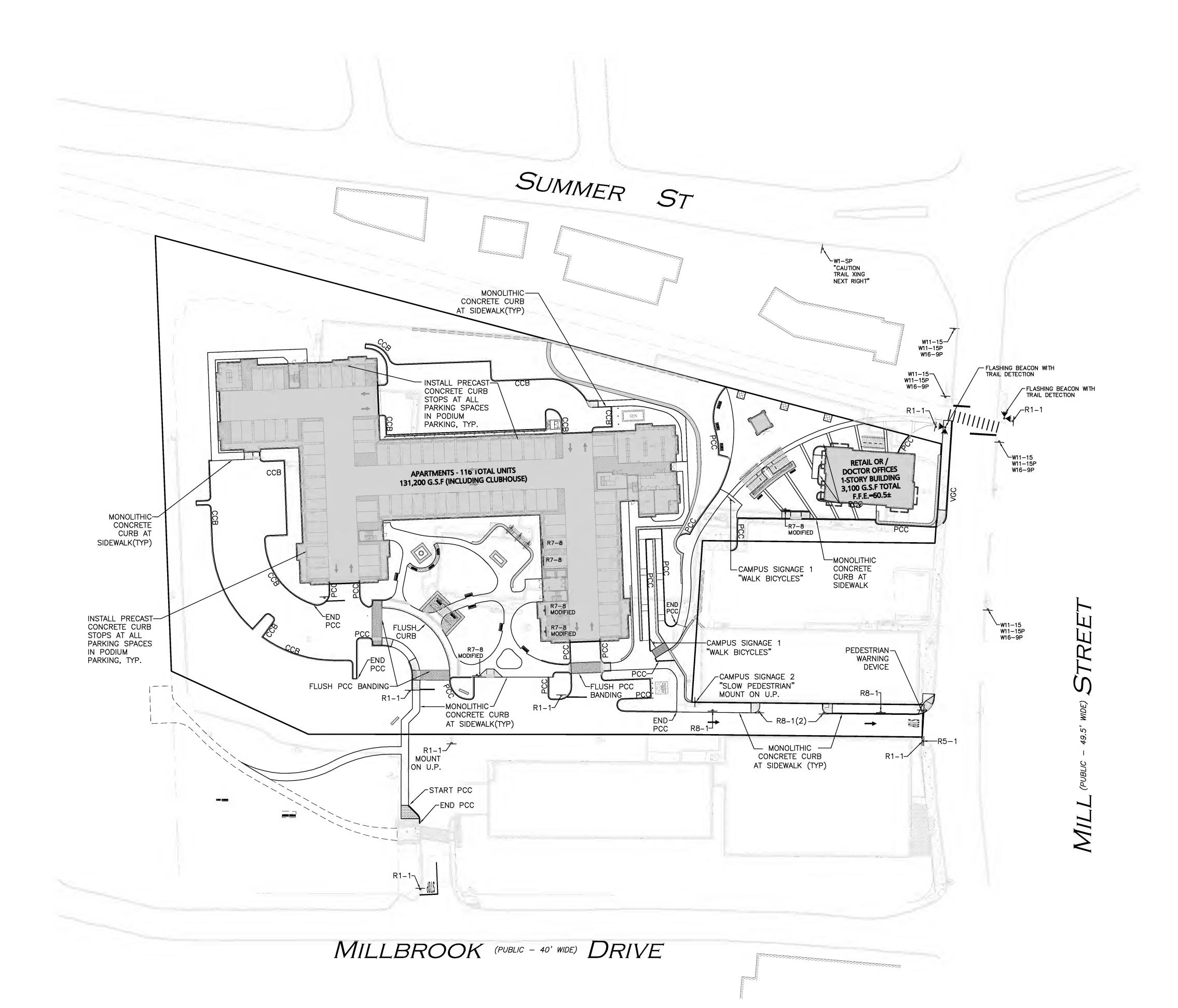
SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

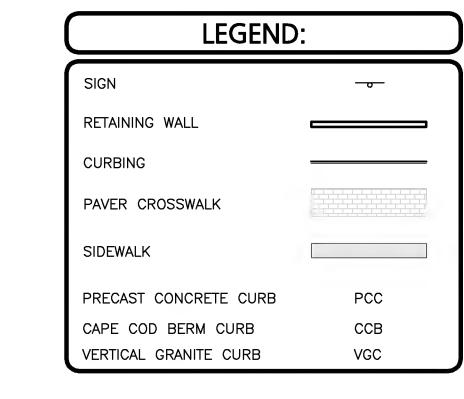
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GRAPHIC SCALE

(IN FEET)
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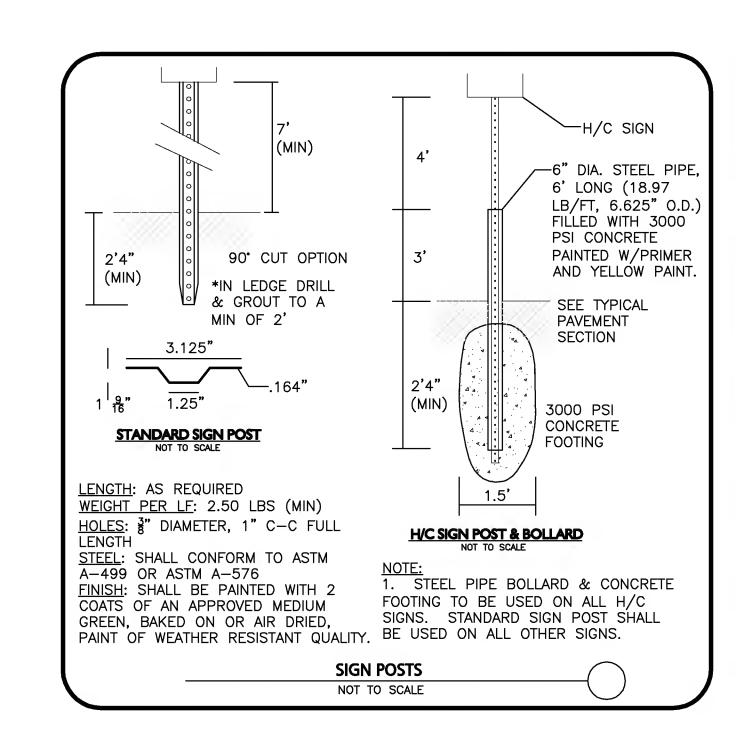


STANDARD SIGNAGE TABLE:					
DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLEC- TORIZED
R1-1	STOP	30" × 30"	7' - 0"	WHITE ON RED	YES
R5-1	DO NOT ENTER	30" × 30"	7' - 0"	RED ON WHITE	YES
R8-1 (MODIFIED)	NO PARKING FIRE LANE	12" × 18"	7' - 0"	RED ON WHITE	NO
R8-1(2) (MODIFIED)	NO PARKING LOADING 2018	12" × 18"	7' - 0"	RED ON WHITE	NO
R7-8 (MODIFIED)	MOLATORS WILL BE PINED C. C	12" × 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R7-8	VIOLATORS WILL BE FINED HANDIGAPED PARKING STATE PERMIT REQUIRED	12" × 20"	7' - 0"	GREEN & BLUE ON WHITE	NO

NOTES:

1) WHERE APPLICABLE THE SIGN SUPPORT SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF AASHTO'S "SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRIES, AND TRAFFIC SIGNALS".

2) PRECAST CONCRETE PARKING BUMPERS TO BE INSTALLED WITHIN THE PODIUM PARKING AREAS.



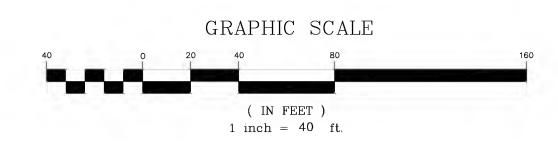
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THIOTHY

CIVIL
NO. 43119

COSTERED

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

Proposed
Curbing &
Signage Plan

 $N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01$ - CURBING-SIGNAGE.DWG

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NTS

03.15.10

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Details

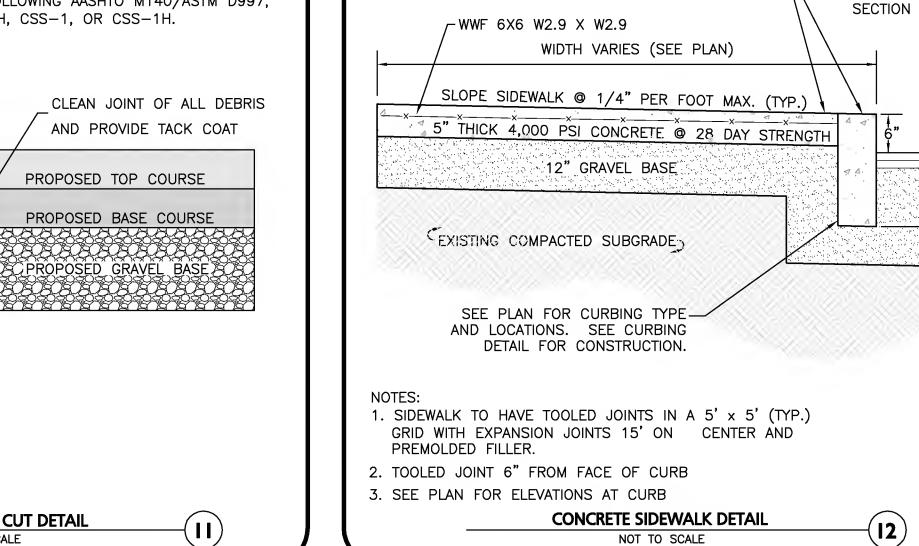
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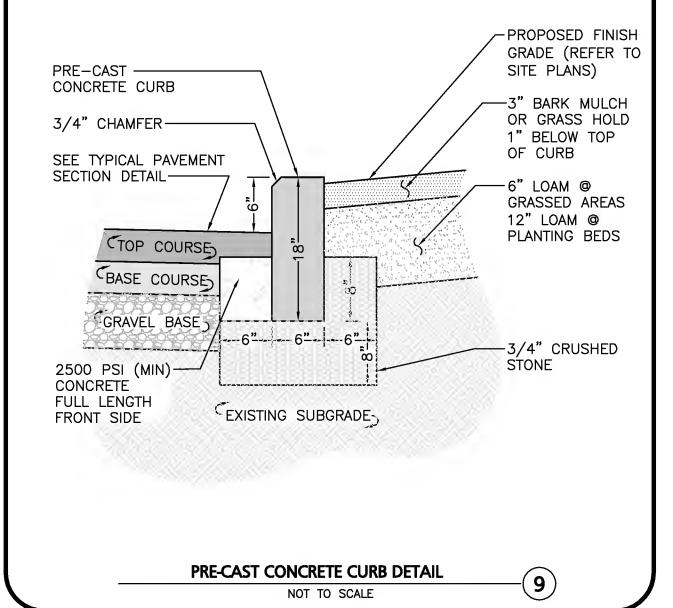
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HANDICAP PARKING

4'-0"

8'-0"

TYPICAL ACCESSIBLE HANDICAP PARKING STALL

BITUMINOUS

TACK COAT

BITUMINOUS CONC.

(TOP COURSE)

BITUMINOUS CONC.

PAVEMENT -(BINDER COURSE)

- COMPACTED GRAVEL BASE

— COMPACTED SUBGRADE

CAPE COD BERM

NOT TO SCALE

TREATMENT

VARIES

5'-0"

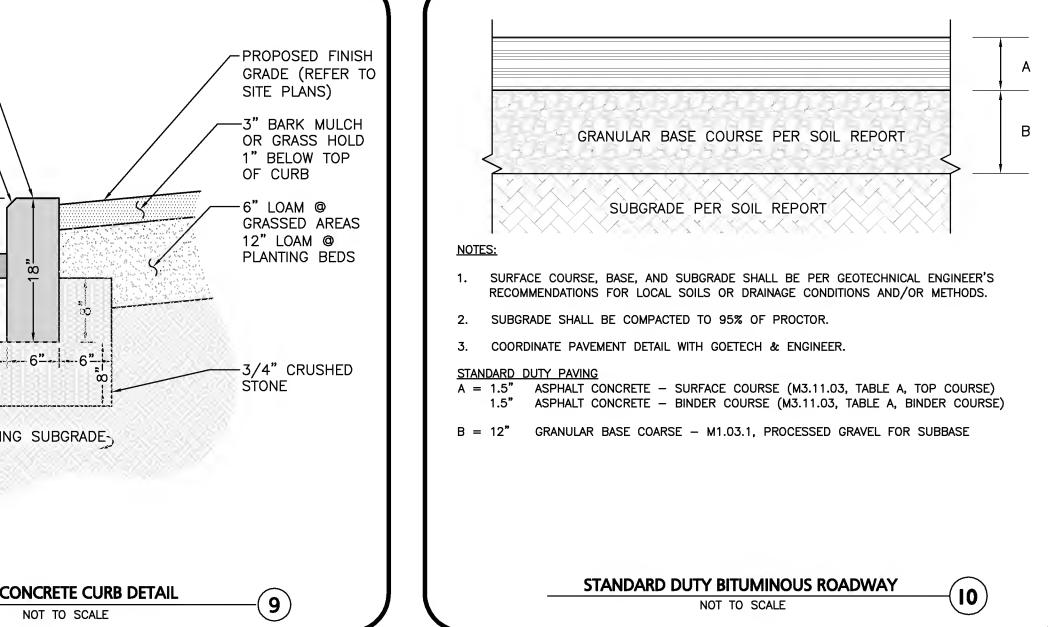
(8'-0" FOR VAN)

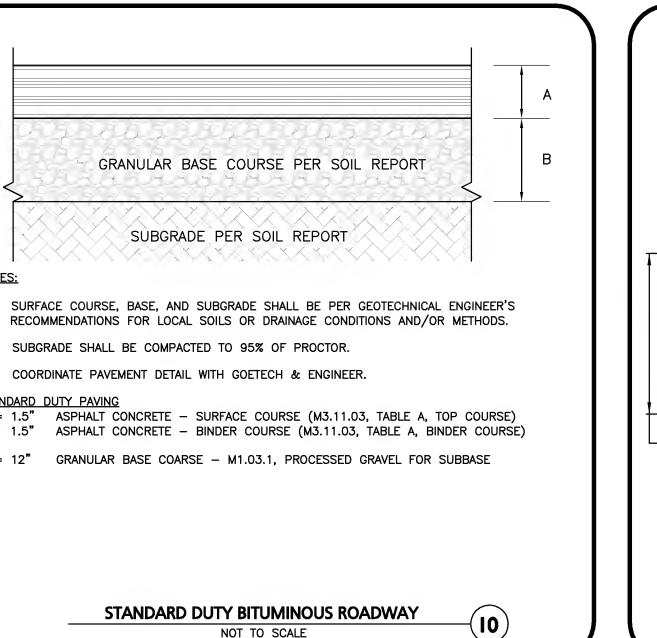
ACCESSIBLE SPACE)

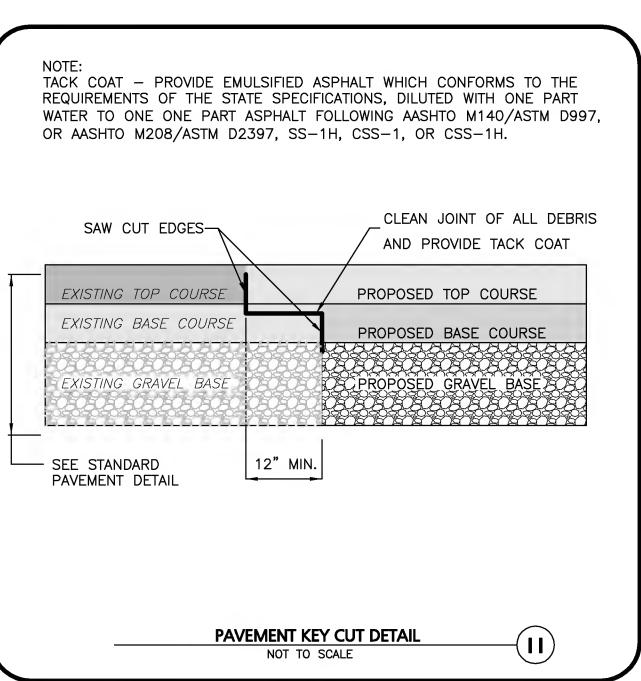
SIGN/POST (SEE DETAIL)

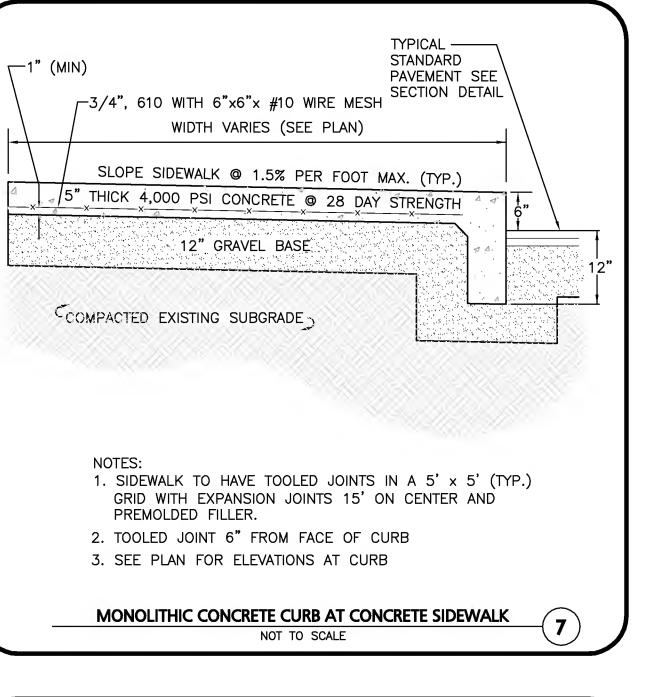
MAX CROSS SLOPE 1:50 /

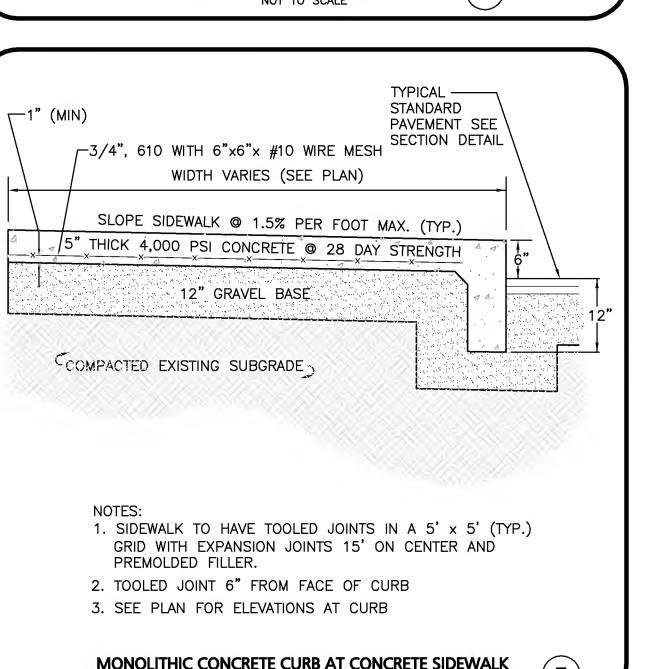
PAINTED SYMBOL-(SEE DETAIL)

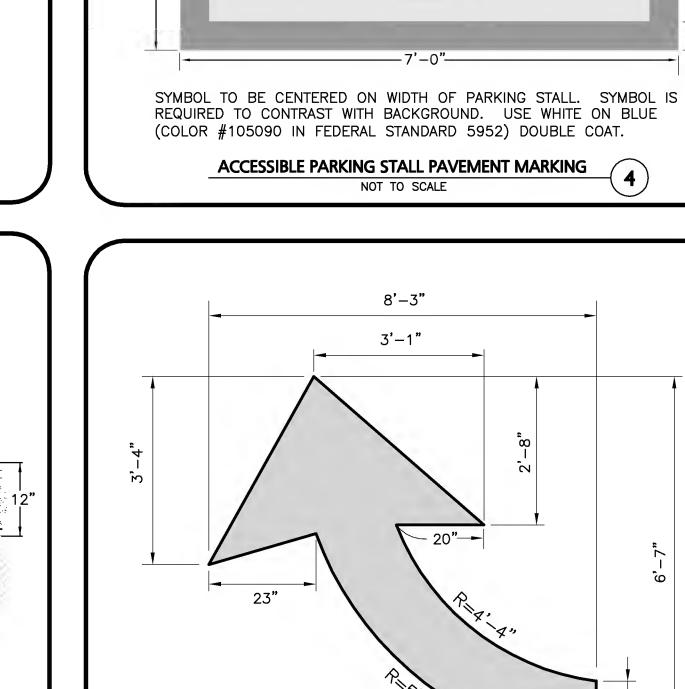












WHITE THERMOPLASTIC TURNING ARROW

NOT TO SCALE

TOP OF CURB AND TOP OF SIDEWALK

MUST ALIGN AT ALL LOCATIONS

TYPICAL -

PAVEMENT

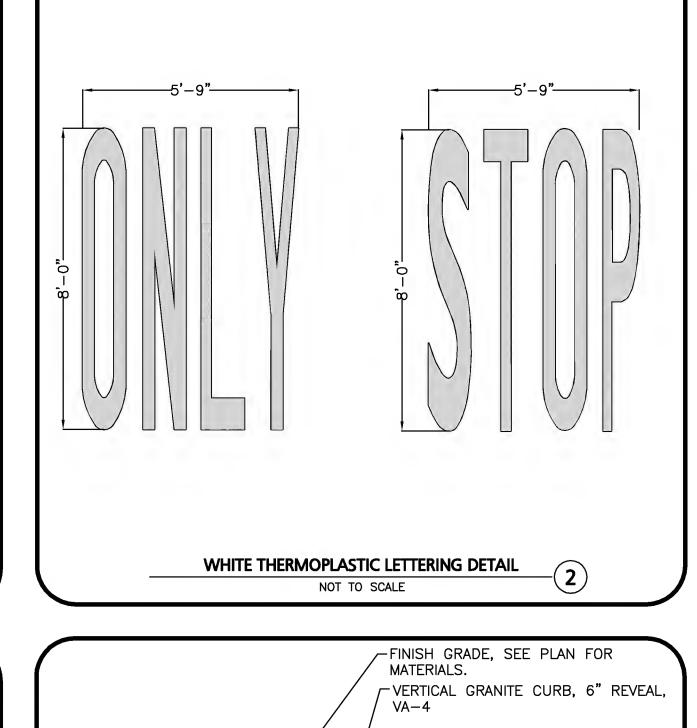
WHITE PAINT

BLUE PAINT

RADIUS

3'-1/2"

WHITE PAINT



6" 🔅 6" 6"

COMPACTED SUBGRADE OR

UNDISTURBED MATERIAL

VERTICAL GRANITE CURB

NOT TO SCALE

WITH EXISTING CURBING SMOOOTHLY.

VERTICAL GRANITE CURB AT MILL STREET TO BE INSTALLED PER

TOWN OF ARLINGTON STANDARD. CURBING TO MEET AND ALIGN

_2500 PSI CEMENT

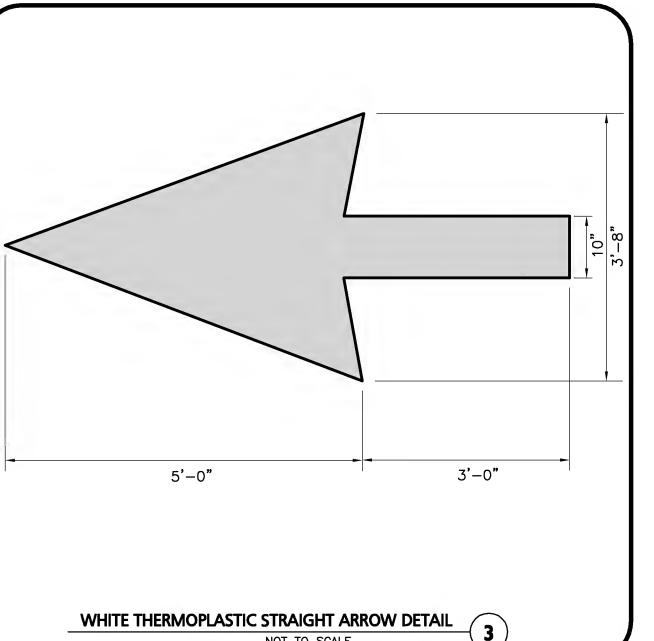
CONCRETE FULL

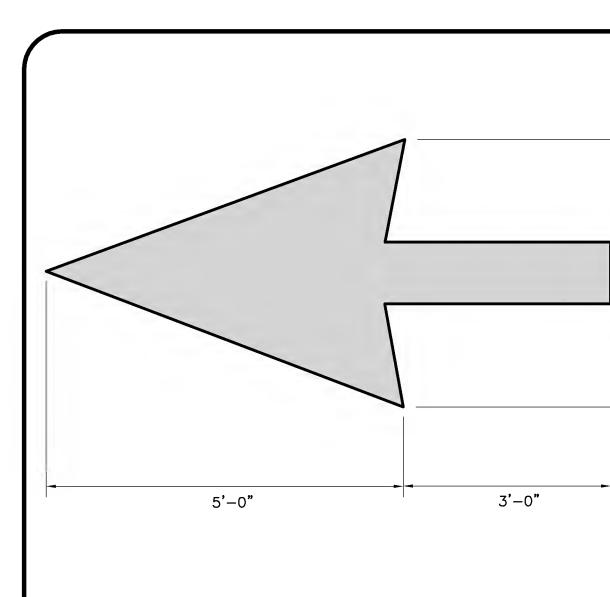
TOP CURSE

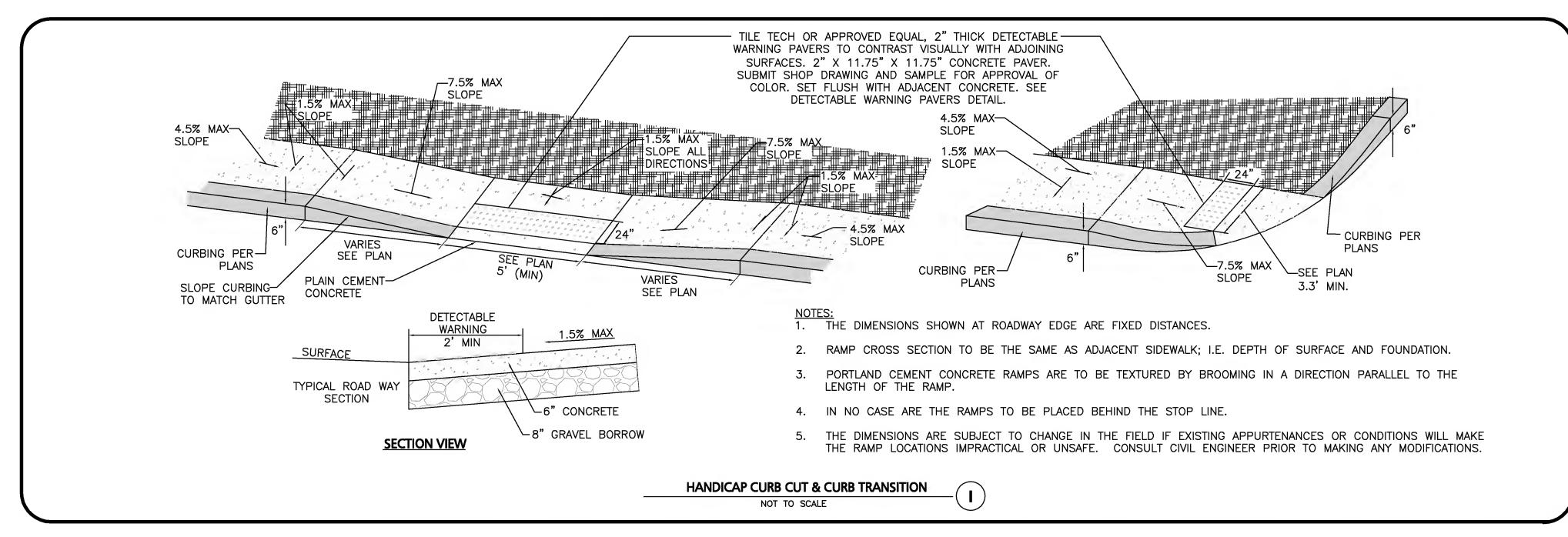
GRANULAR

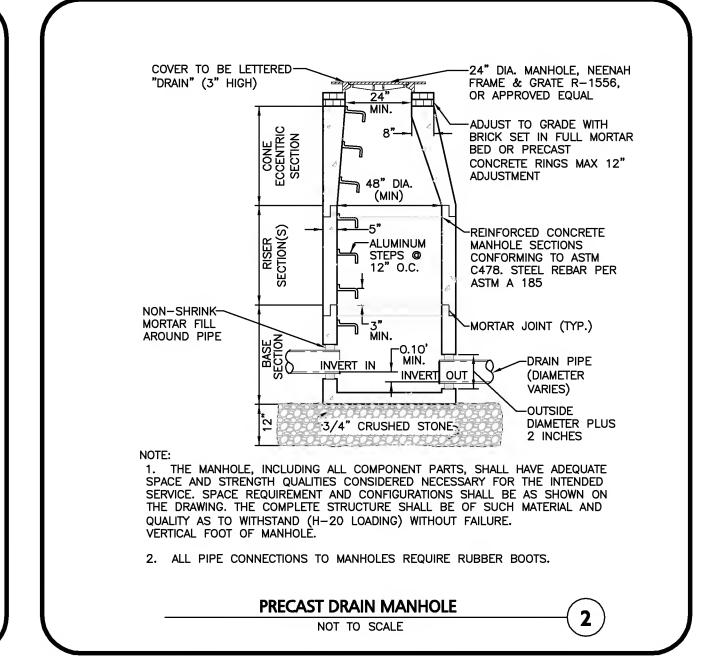
LENGTH FRONT SIDE

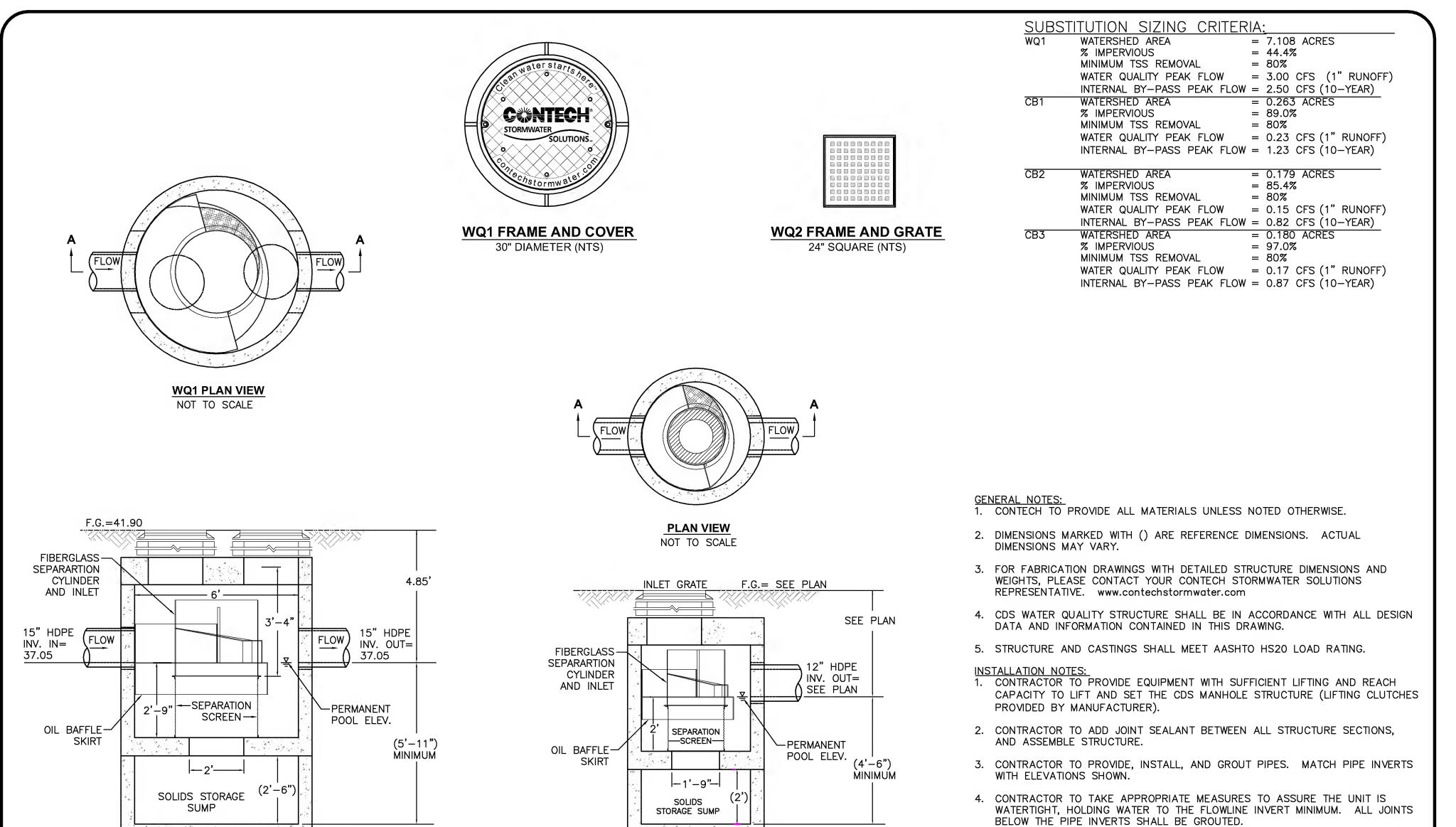
-BINDER CURSE











SECTION A-A

NOT TO SCALE

CB1, 2, 3 - CDS2015-4 WATER QUALITY STRUCTURE

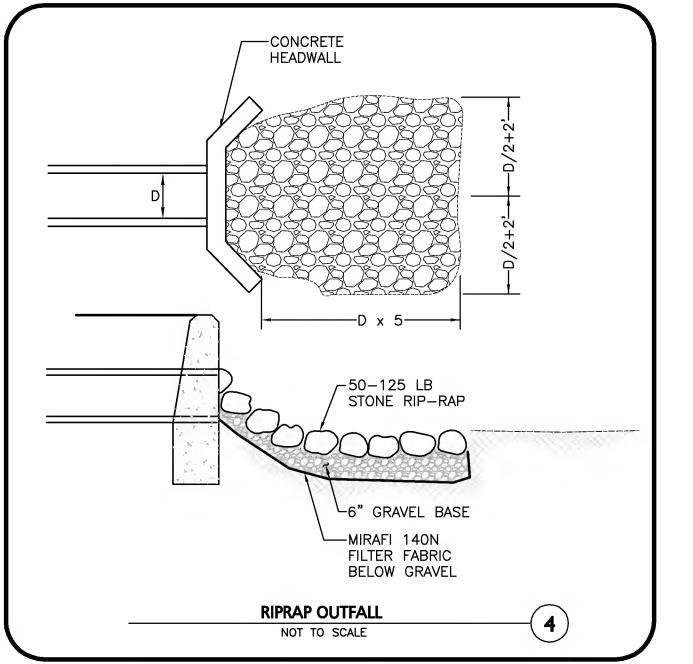
(OR APPROVED EQUAL)

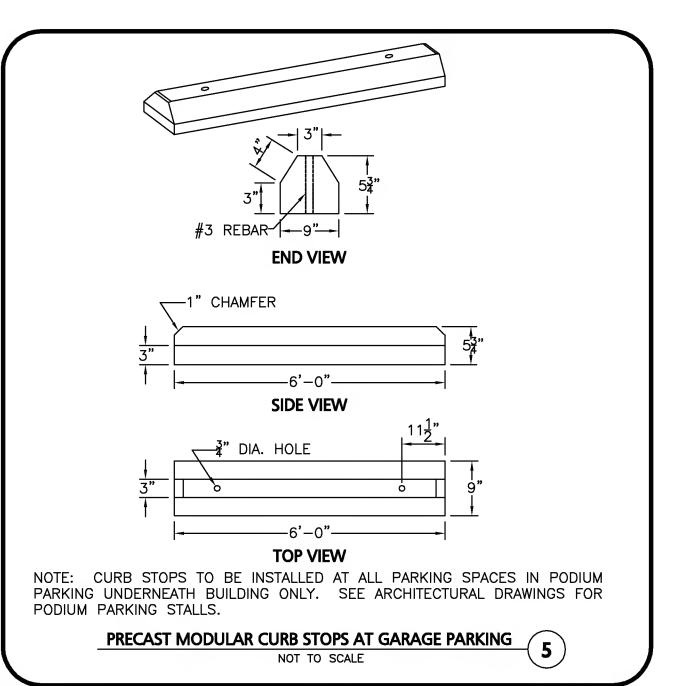
WQ1 SECTION A-A

WQ1 - CDS3020 WATER QUALITY STRUCTURE

(OR APPROVED EQUAL)

NOT TO SCALE





STORMWATER

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WATER QUALITY INLETS & WQ1

(OR APPROVED EQUAL)

SOLUTIONS

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON

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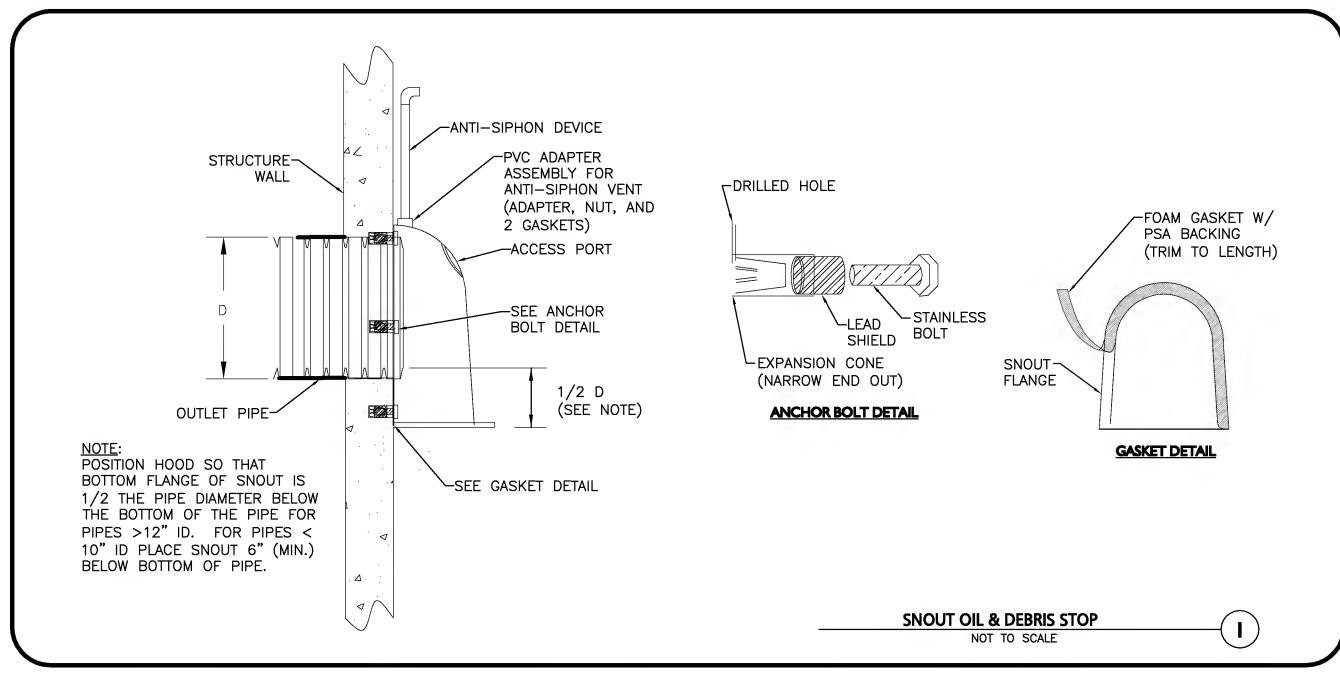
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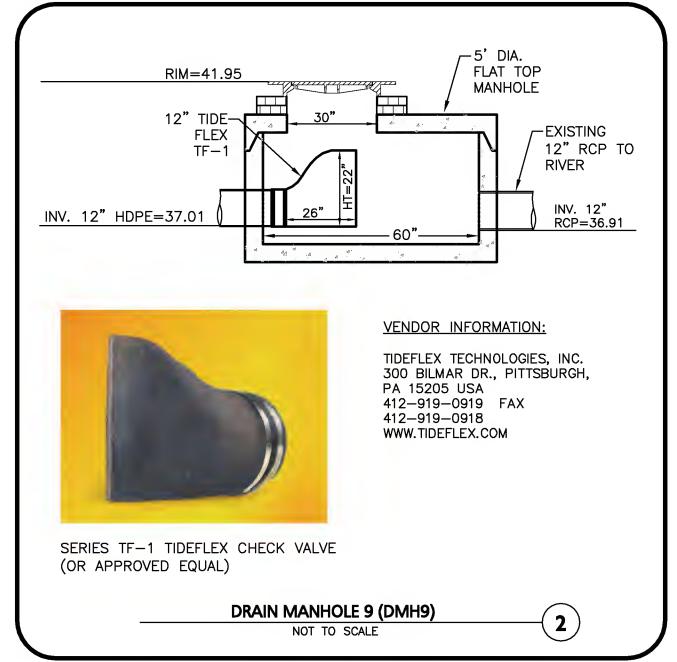
2 PER TOWN COMMENTS 10-20-10

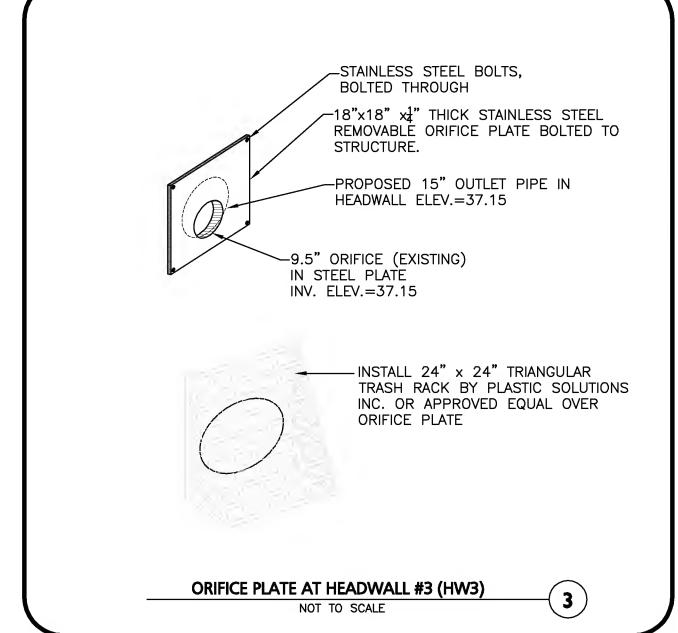
1 PER TOWN COMMENTS 06-16-10

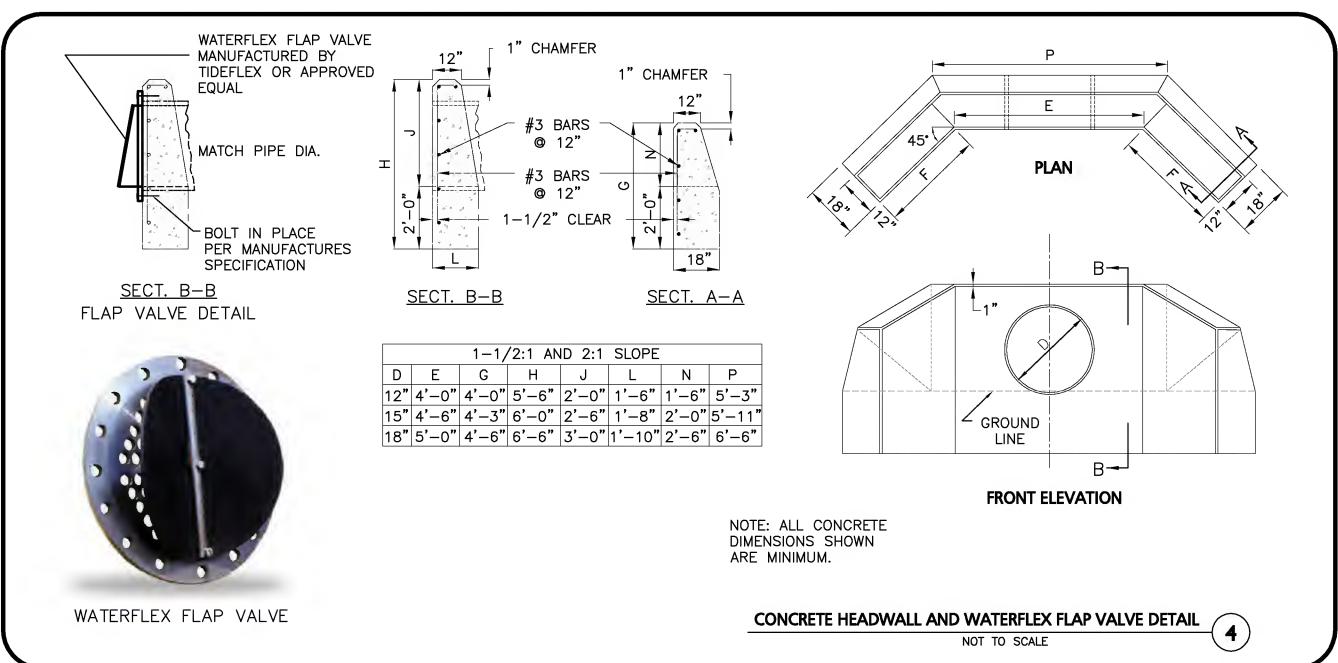


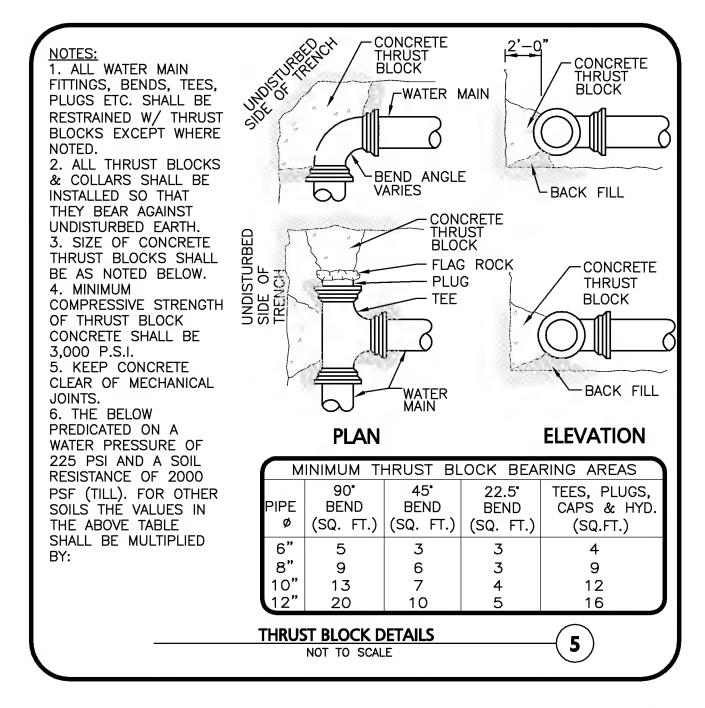
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

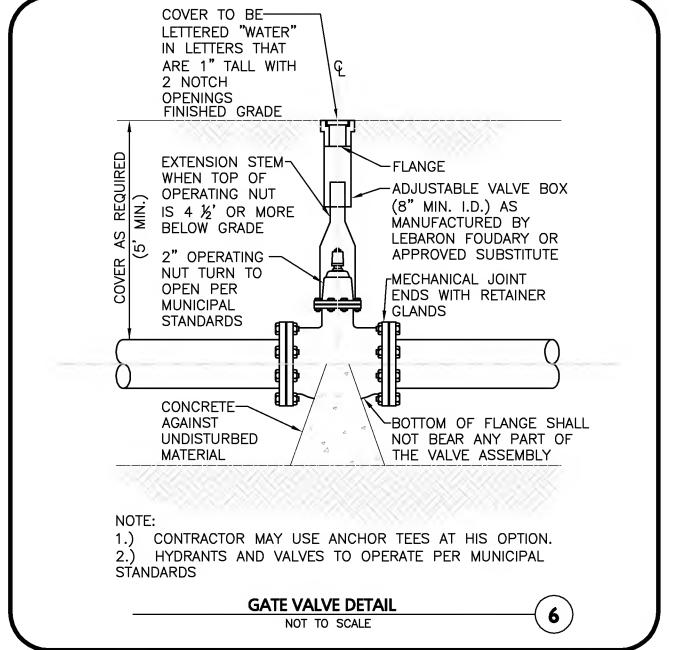


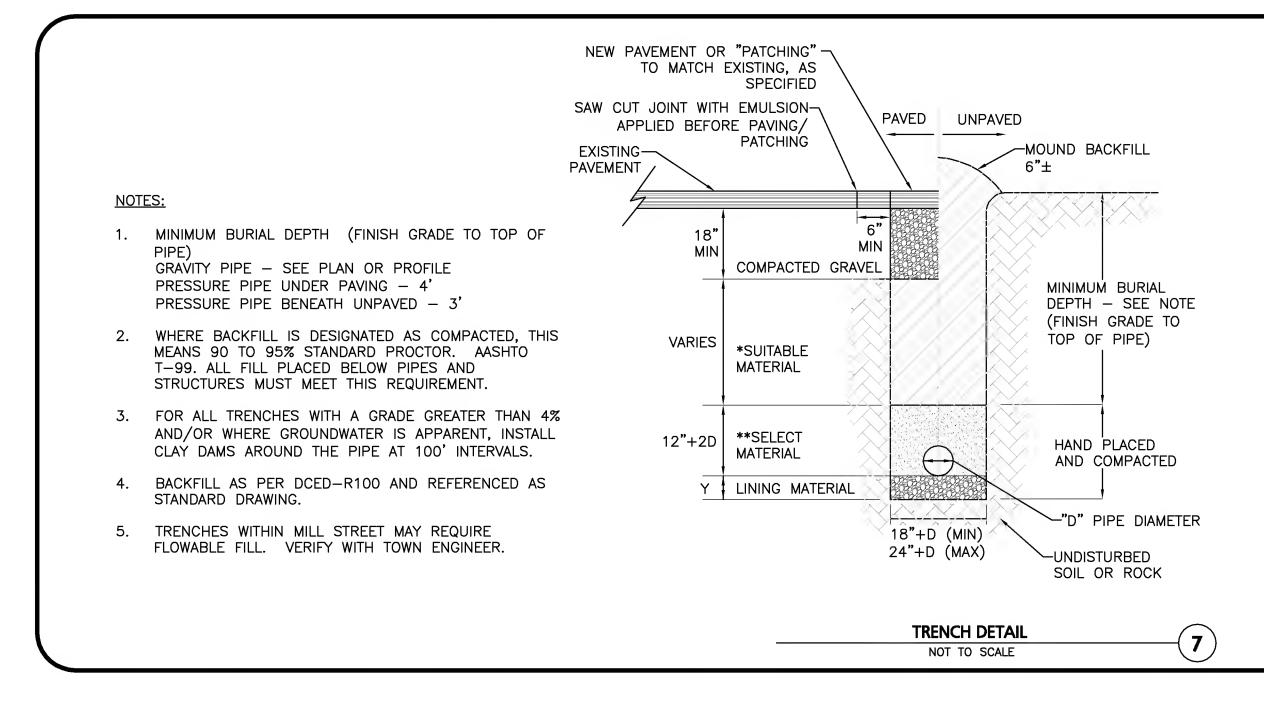












CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

- * SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.
- **TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.
- **TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A $\frac{3}{4}$ " OPENING, AND NOT MORE THAN 5% PASSING A 1" SQUARE OPENING.
- **TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 4" SQUARE OPENING.

3/4" LACING RODS— EYE BOLT 2 NUTS PER BOLT MECHANICAL JOINT			
PIPE SIZE 4", 6" & 8" 10" & 12" 16" 20" MECHANICAL JOINT GATE OR FITTING MECHANICAL JOINT GATE OR FITTING A - 3/4" • 4 - 3/4" • 6 - 3/4" •			
* STANDARD LENGTHS ARE 6' & 10'. COUPLINGS MAY BE USED FOR LONGER LENGTHS. NOTES: 1. NUMBER OF LACING RODS IS BASED ON MAXIMUM PRESSURE OF 125 P.S.I. IN MAIN.			
2. EYE-BOLTS AND LACING RODS ARE TO BE FABRICATED FROM A-36 STEEL.			
3. STEEL LACING RODS SHALL HAVE A YIELD STRESS OF NOT LESS THAN 36,000 P.S.I.			
4. EYE-BOLTS SHALL HAVE A MINIMUM TENSILE STRENGTH OF 7,000 LBS. EACH.			
MECHANICAL JOINT LACING DETAIL NOT TO SCALE			

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

- SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
- MINIMUM LOT FRONTAGE MAXIMUM BUILDING HEIGHT/STORIES
- SECTION 8.12 A(11) PARKING & LOADING SPACE STANDARDS (ARB) SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)
- SECTION 11.06 ENVIRONMENTAL DESIGN REV. (ARB)

Residential & Retail Development 30-50 Mill Street Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC. civil & structural engineering • land surveyin
environmental consulting• landscape architectus
w w w . a l l e n m a j o r . c o m
100 COMMERCE WAY
P.O. BOX 2118
WOBURN MA 01888-0118
TEL: (781) 935-6889
FAX: (781) 935-8896

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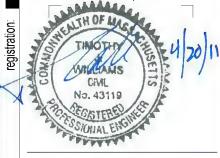
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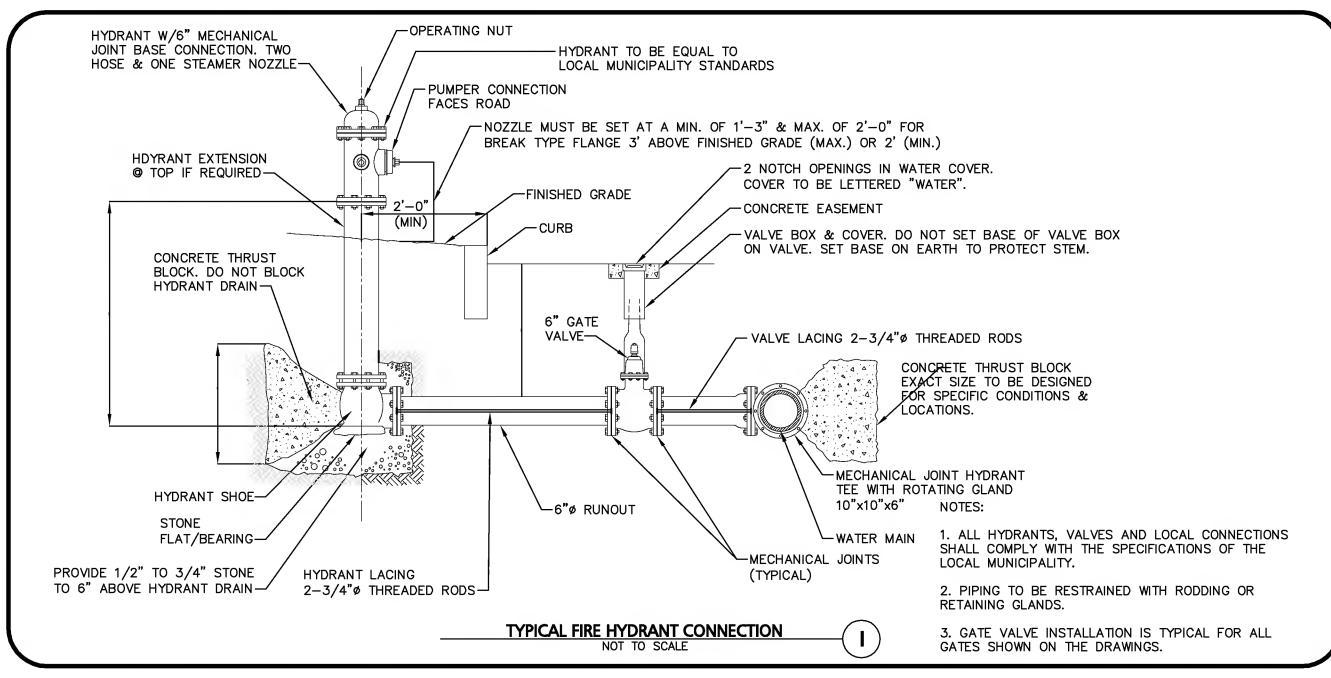
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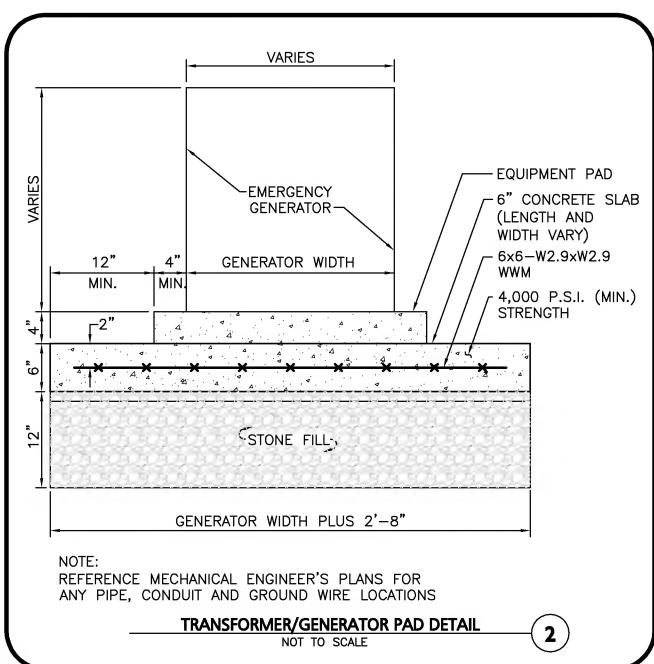
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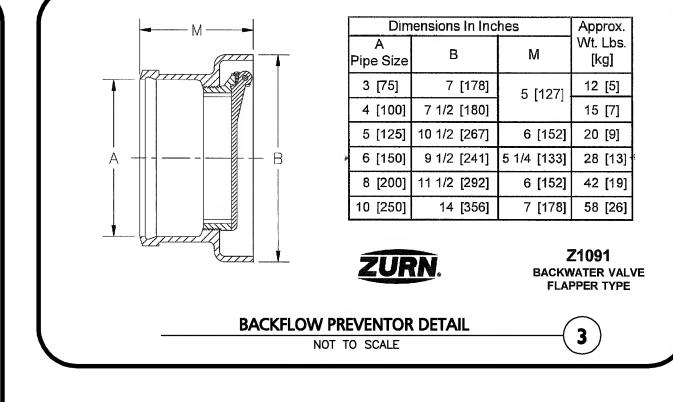
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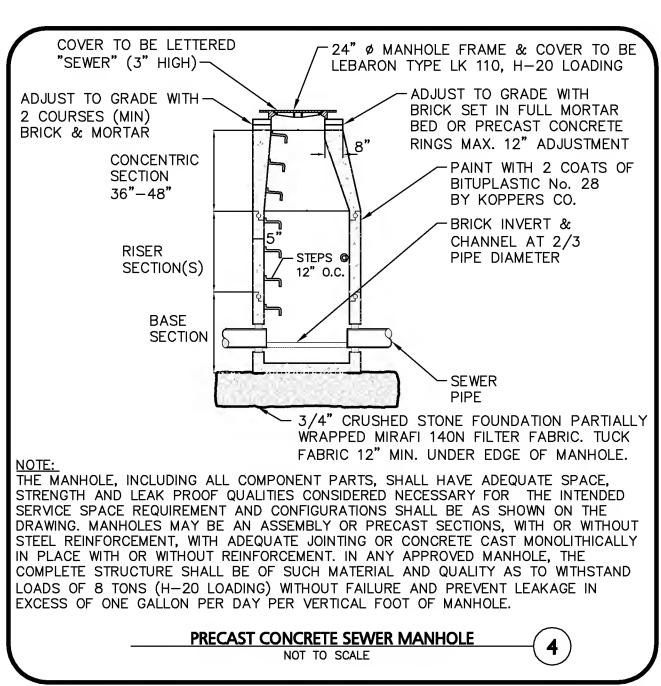
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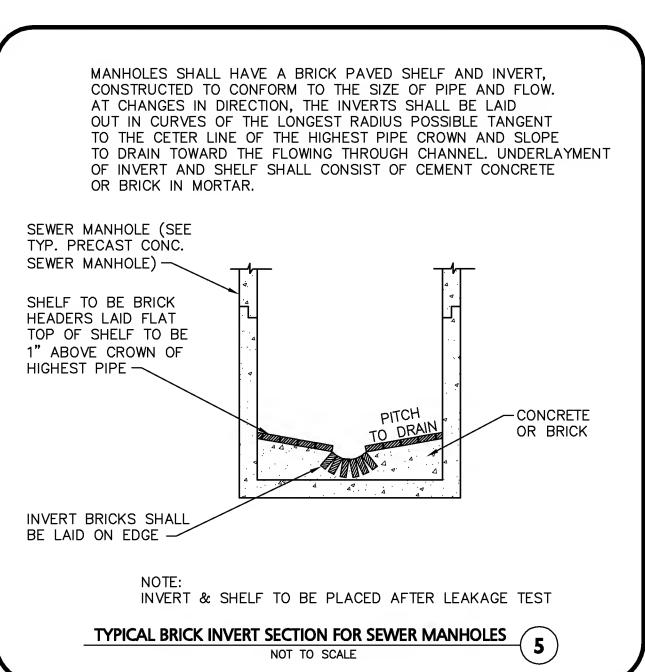


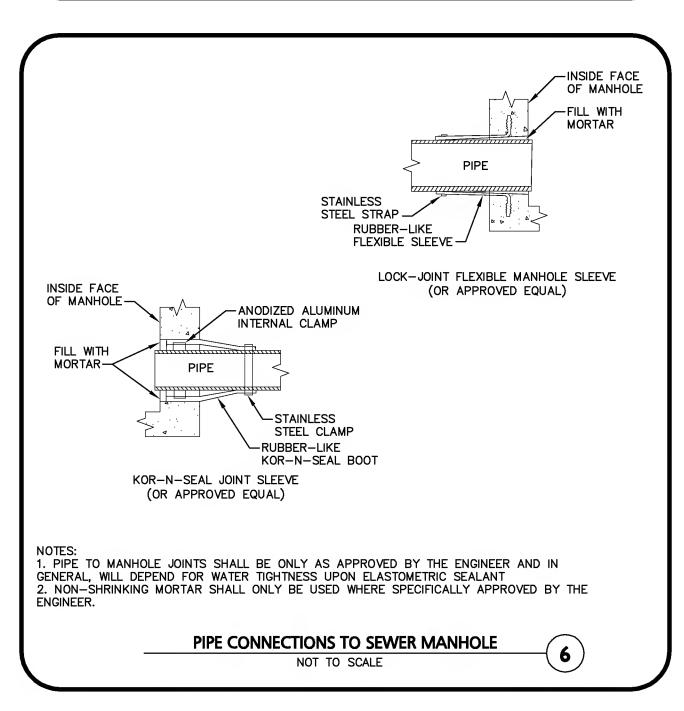


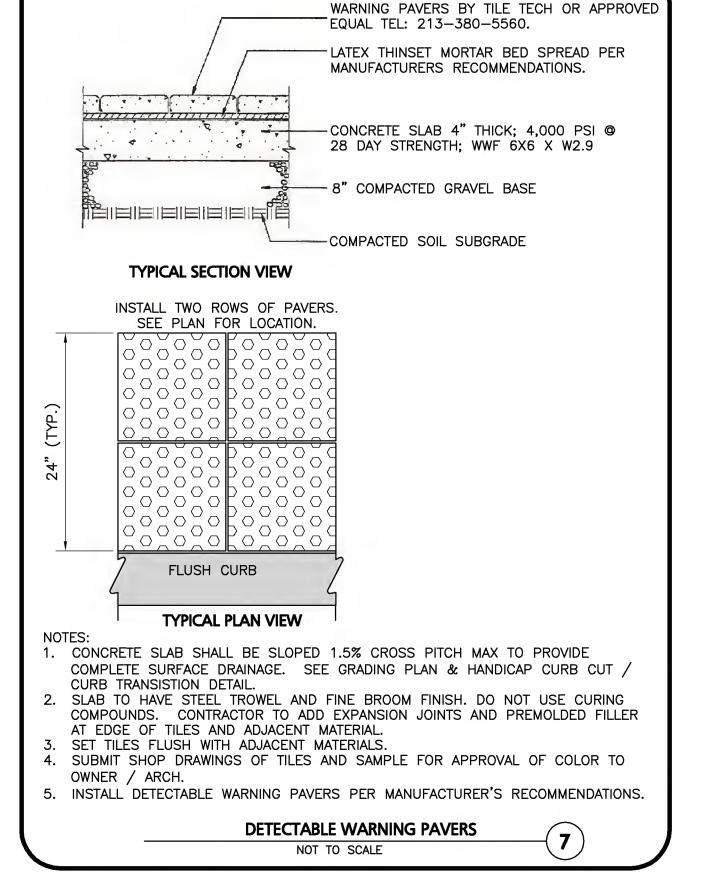


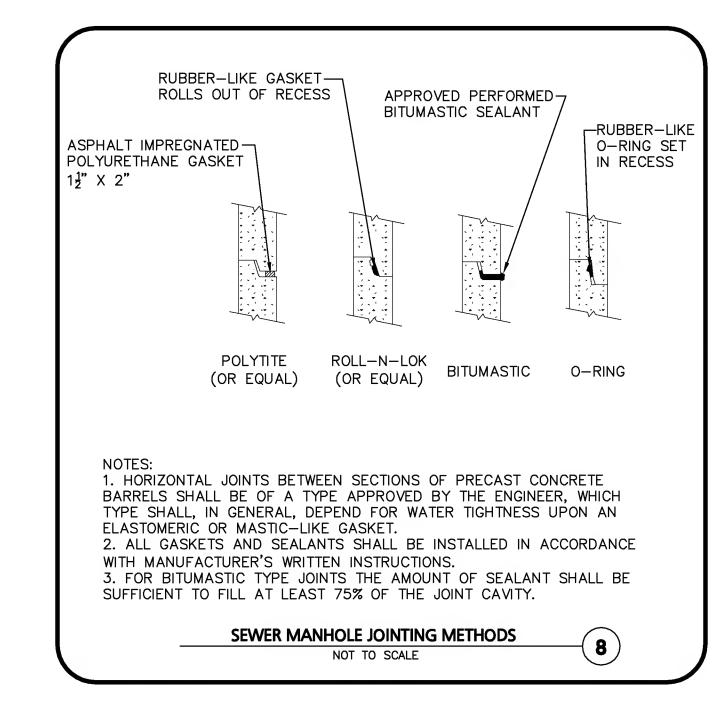
2"X11.75"X11.75" CONCRETE DETECTABLE

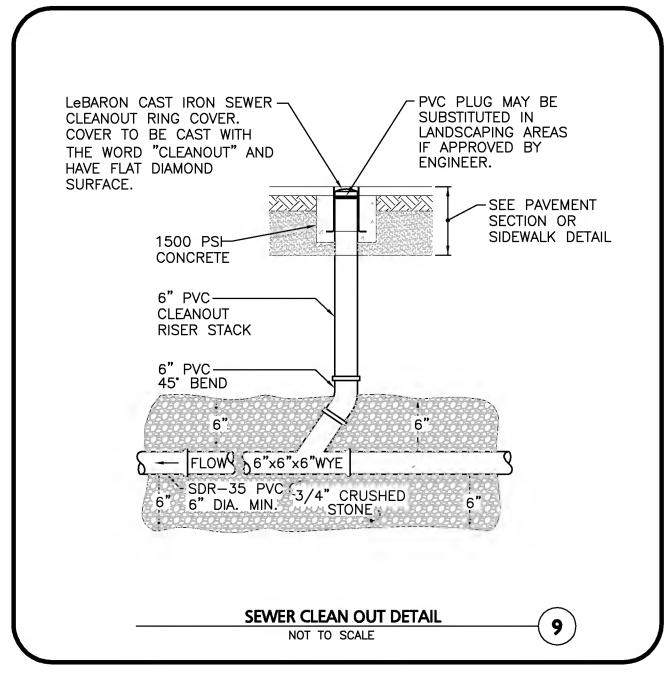


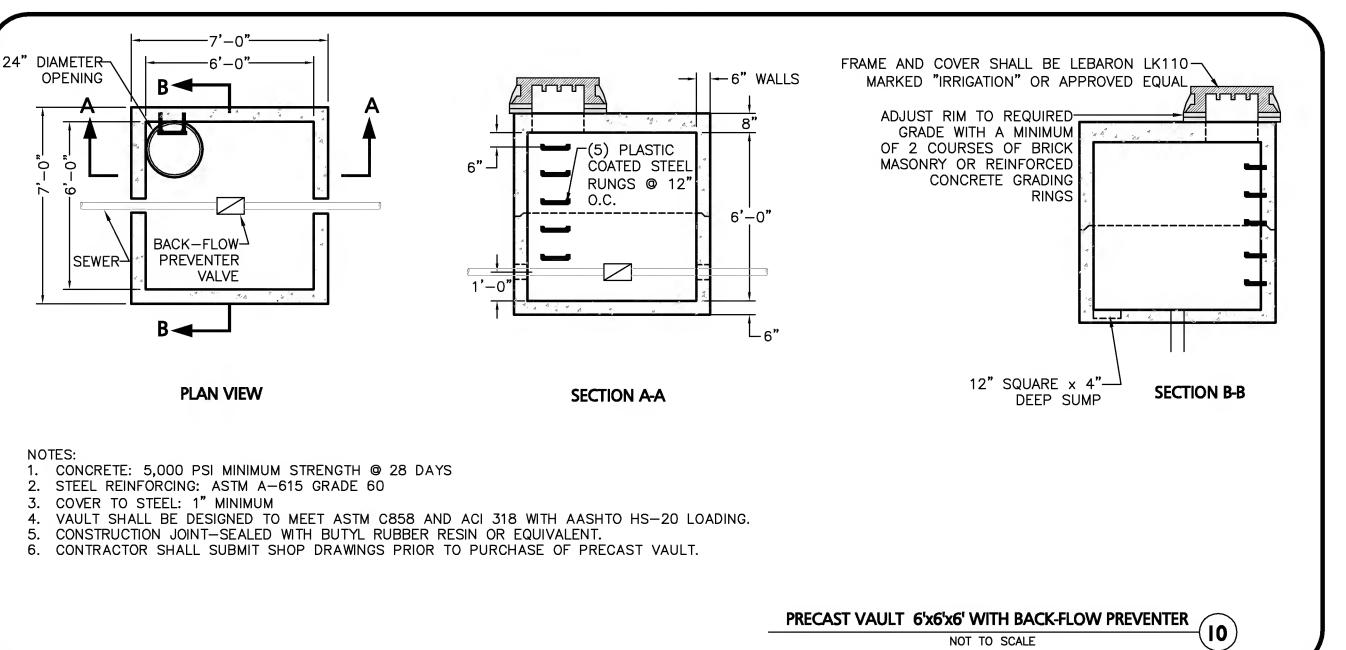












APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON

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ZONING BYLAW HAS BEEN GRANTED:

MAXIMUM BUILDING HEIGHT/STORIES

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

MINIMUM LOT FRONTAGE

- DRAIN INLET

FRAME AND

STRAW BALES SHALL BE POSITIONED IN A ROW SO THAT EACH END TIGHTLY

. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS

3. FREQUENT INSPECTIONS SHALL BE CONDUCTED AND REPAIR OR REPLACEMENT

TYPICAL STRAW BALE FILTER DETAIL

— NYLOPLAST COVER

LANDSCAPE AREA FINISH GRADE

PIPE PER ON PLAN VIEW

─BACKFILL MATERIAL SHALL

CLASS 1 OR 2 AS

AREA DRAINS
NOT TO SCALE

BE CRUSHED STONE OR

GRAVEL MATERIAL MEETING

SPECIFIED IN ASTM D2321

10'-0" (MIN.)

-Lebaron cast iron DRAIN CLEANOUT RING

COVER. COVER TO BE

CAST WITH THE WORD

DIAMOND SURFACE.

PROPOSED GRADE

PVC ADAPTER WITH

OR APPROVED EQUAL). ALL METAL FASTENERS

TO BE STAINLESS STEEL.

PIPE PER MASS. BLDG. & PLUMBING CODE (PIPE MAY PENETRATE

FOUNDATION WALL OR

DOWN SPOUT)

3/4" CRUSHED

STONE -

CONNECT TO EXTERIOR

| FLEXIBLE JOINT (FERNCO|

"DRAIN" AND HAVE FLAT

18" MIN. COVER

OR EQUAL

DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE

ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.

STRAW BALES -

2 STAKES PER

ABUTTS THE ADJACENT BALE.

NYLOPLAST INLINE-

PIPE PER ON PLAN VIEW

STRUCTURE OR

DRAINAGE

DRAIN PER, PROPOSED PVC DRAIN

PVC PLUG MAY-

BE SUBSTITUTED

IN LANDSCAPING

APPROVED BY

RISER STACK

6" PVC—— 45° BEND

¬ FLOW |

AREAS IF

ENGINEER.

当会 6" PVC—— CLEANOUT

@ 1/8" PER FOOT MIN.

6" DIA. MIN. 6" 3/4" CRUSHED

ROOF DRAIN

NOT TO SCALE

EQUAL

SHALL BE MADE PROMPTLY IF NECESSARY.

STAKED WITH

BALE

- WEDGE LOOSE STRAW

BETWEEN STRAW BALES TO

CREATE A CONTINUOUS

BARRIER

Two 2" wooden

STAKES PER

STRAW BALE

—1 1/2" SQUARE WOOD

POST 10' ON CENTER

CORD AROUND TWICE

WOOD STAKE

WRAP ATTACHMENT

— 2"X2"X4'

MITCWKIKWANIC MIK-

AREA TO REMAIN

UNDISTURBED,

BELOW GRADE

─BURY FABRIC 6"±

— EROSION CONTROL BARRIER

INSTALLED DOWN SLOPE OF

PROPOSED STOCKPILE AREA

PROVIDE DRAIN SWALE TO

DIRECT WATER AWAY FROM

PROPOSED STOCKPILE AREA

3' HIGH (MIN)

STRAW BALE

FABRIC SHALL BE

DOWNSLOPE

' (MIN)-

OVEŘLAÝ

INSTALLED VERTICALLY

*** * * * * * ***

· · · · · ·

WITH THE SOIL. DO NOT STRETCH.

USED TO TRAP SEDIMENT.

FABRIC SHALL HAVE GOOD SOIL CONTACT.

APPLY PERMANENT SEEDING BEFORE PLACING FABRIC.

4. CHOOSE MATERIAL BASED ON SLOPE, SOILS, AND APPLICATION.

<u>NOTES:</u> 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION

THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT

ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP

TO ENTERING THE PUBLIC RIGHT-OF-WAY.

DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES

WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR

WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN

· CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED

MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.

PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE

6' O.C. (TYP.)

TRUNKS AND DRIPLINE.

2. IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND

TEMP. CONST. FENCE / TREE PROTECTION

BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS

AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO

METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

4. USE SANDBAGS, HAYBALES, OR OTHER APPROVED

 $\hat{}$

" REBAR FOR LIFTING

-DUMP STRAP (2)

-CATCH BASIN STRUCTURE

INSTALL SILTSACK PER

RECOMMENDATIONS. EMPTY OR

WHEN RESTRAINT CORD IS NO

AND REPLACE AS NEEDED.

FILTER FABRIC

12' (MIN.)

✓ 4

8' (MINIMUM)

(DIAMETER VARIES)

BASINS EXISTS.

SILTSACK INLET DETAIL

NOT TO SCALE

DIVERSION RIDGE REQUIRED

WHERE GRADE EXCEEDS 2%

SECTION A

SPILLWAY

FLOW

2"-3" COURSE AGGREGATE

WATER MAIN

LDIVERSION RIDGE

SEWER MAIN AND A WATER MAIN:

SHALL BE AT LEAST 18 INCHES.

SEPARATION FROM THE POINT OF CROSSING.

MIN OF 6" THICK

TEMPORARY CONSTRUCTION ENTRANCE/EXIT

NOT TO SCALE

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A

THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.

THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM

DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN

THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF

SEWER / WATER CROSSING DETAIL

NOT TO SCALE

THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE

THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE

LONGER VISIBLE. CLEAN, RINSE,

2. SILT SACKS TO BE INSTALLED

TO ENTER EXISTING & PROPOSED

DURING CONSTRUCTION OPERATIONS

WHEN THE POTENTIAL FOR SEDIMENT

MANUFACTURER'S INSTRUCTIONS AND

REMOVE SEDIMENT FROM SILTSACK

AND REMOVAL

 \Diamond

1.5"

TAMP SOIL

OVER FABRIC

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS.

LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT

EROSION CONTROL FABRIC

NOT TO SCALE

1.5"

ROADWAY

HAYBALE OR SAND BAGS, OR

WATER SUPPLY TO WASH

WHEELS (IF NECESSARY)-

TREE DRIPLINE

METAL STAKE

METAL POSTS

TEMPORARY

FENCE

CONSTRUCTION

CONSTRUCTION FENCE

EDGE OF TREE TRUNK

CONTINUOUS BERM OF

EQUIVALENT HEIGHT-

STAPLE DETAILS

STRAW BALE -

AREA TO BE

DISTURBED,

STRAW BALES TO-

BE SET IN A 4"

DEEP TRENCH

TO ANY RAINFALL.

BOTTOM OF SWALE-

-WALLS OF SWALE

SILT FENCE-

FILTER —

FABRIC

AREA TO BE

AREA TO REMAIN

UNDISTURBED,

PLAN VIEW

SECTION

SILT FENCE AND STRAW BALE DETAIL

NOT TO SCALE

PROPOSED STOCKPILE AREA

NOTES:

1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN

AND AND COLORS (1 000 SF), C

WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LBS/1,000 SF), OR

2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR

MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF)

MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR

NOT TO SCALE

WIDTH VARIES (SEE EROSION CONTROL PLAN, SHEET C-5)

ELEVATION VIEW

TEMPORARY STONE CHECK DAM

NOT TO SCALE

-50-125 LB

STONE RIP-RAP

OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH HAY

STOCKPILE PROTECTION

DEPTH TO BE 2' UNLESS POST IS TO BE SET IN PEAT THEN 3' OR

DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

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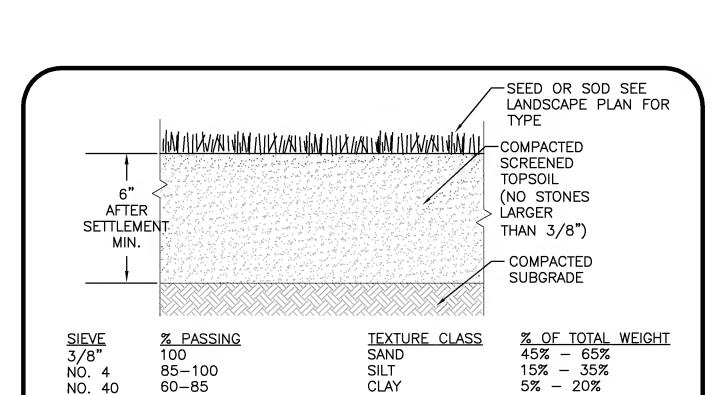
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NOTES:

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.

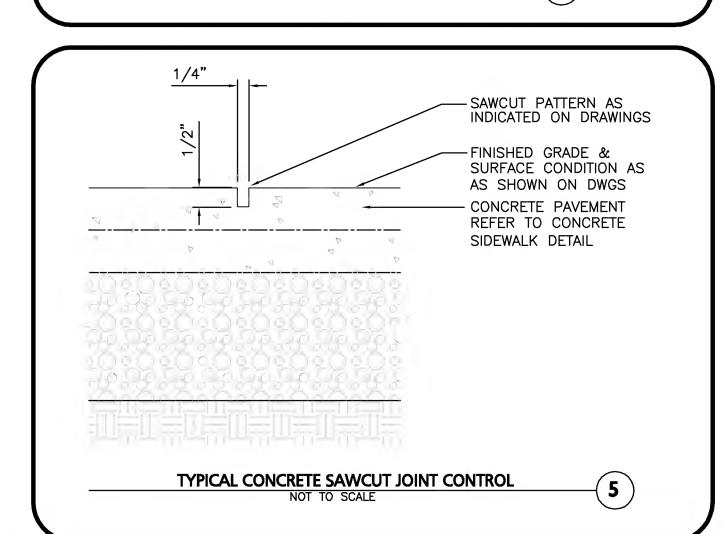
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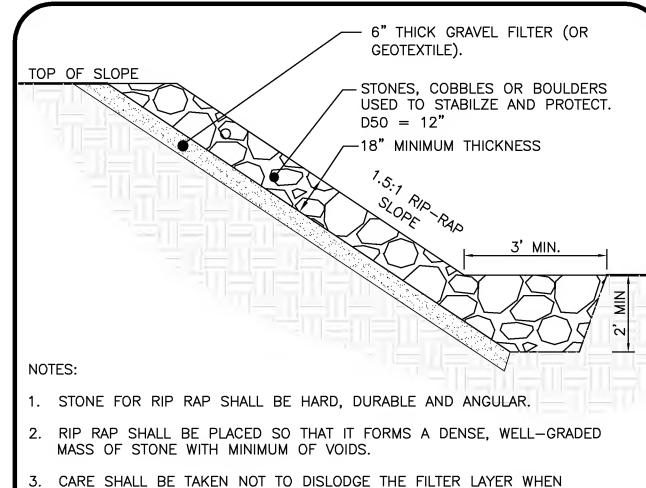
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- 2. TOPSOIL SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL—DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
- 3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF THE PLANTING SOIL DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
- 4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

SEEDED OR SODDED LAWN DETAIL NOT TO SCALE

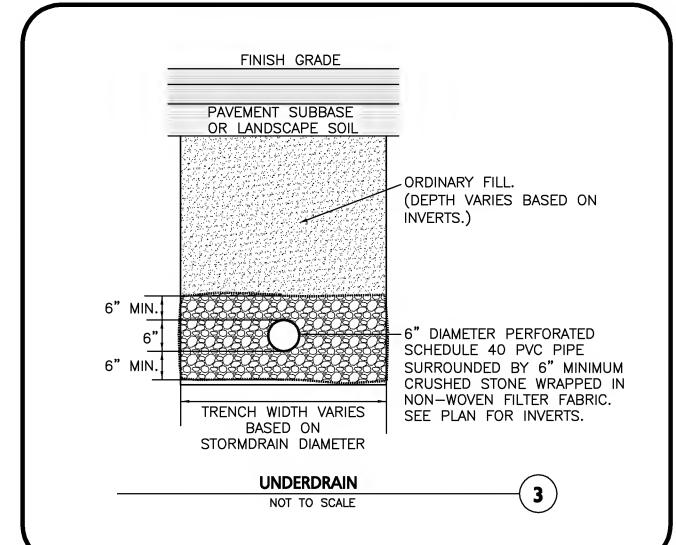


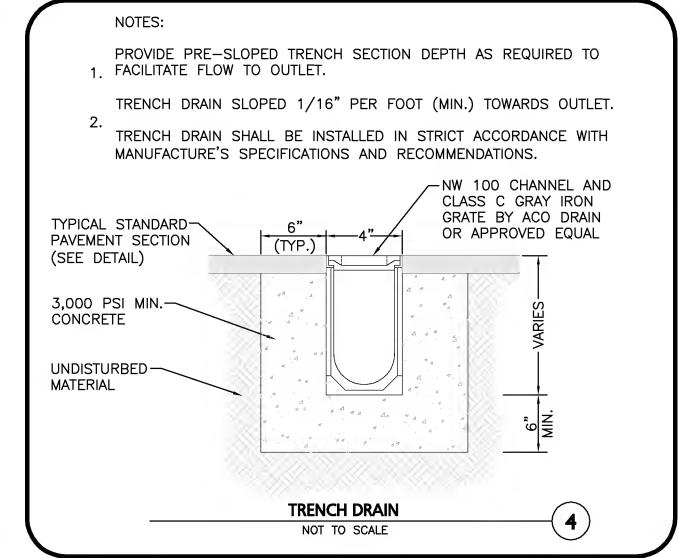


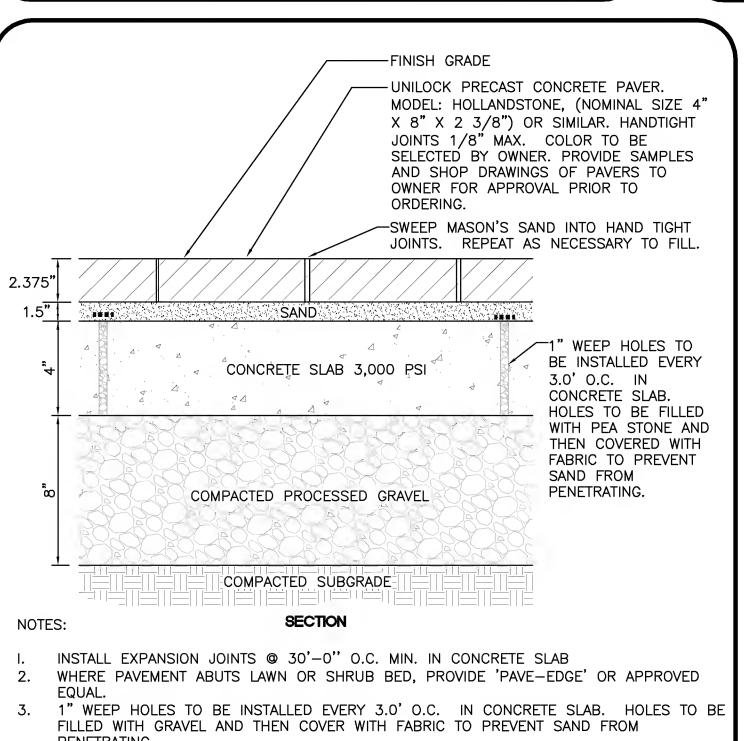
1.5 TO 1 RIP RAP SLOPE

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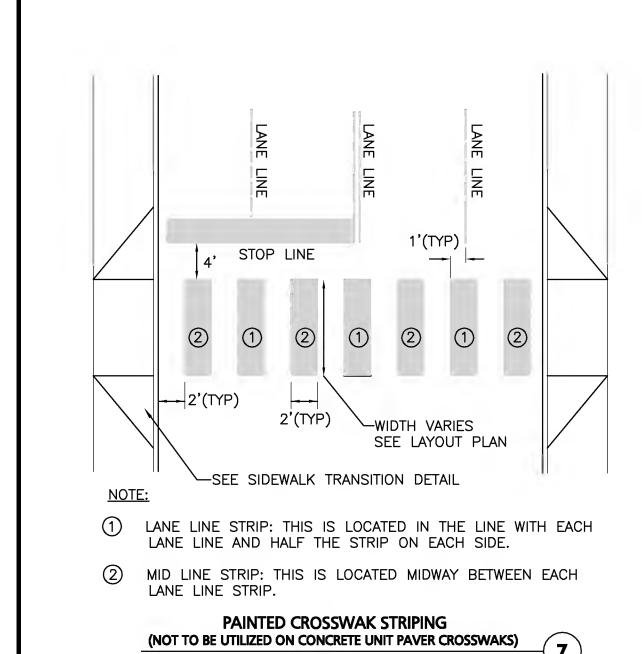
PLACING THE STONES.

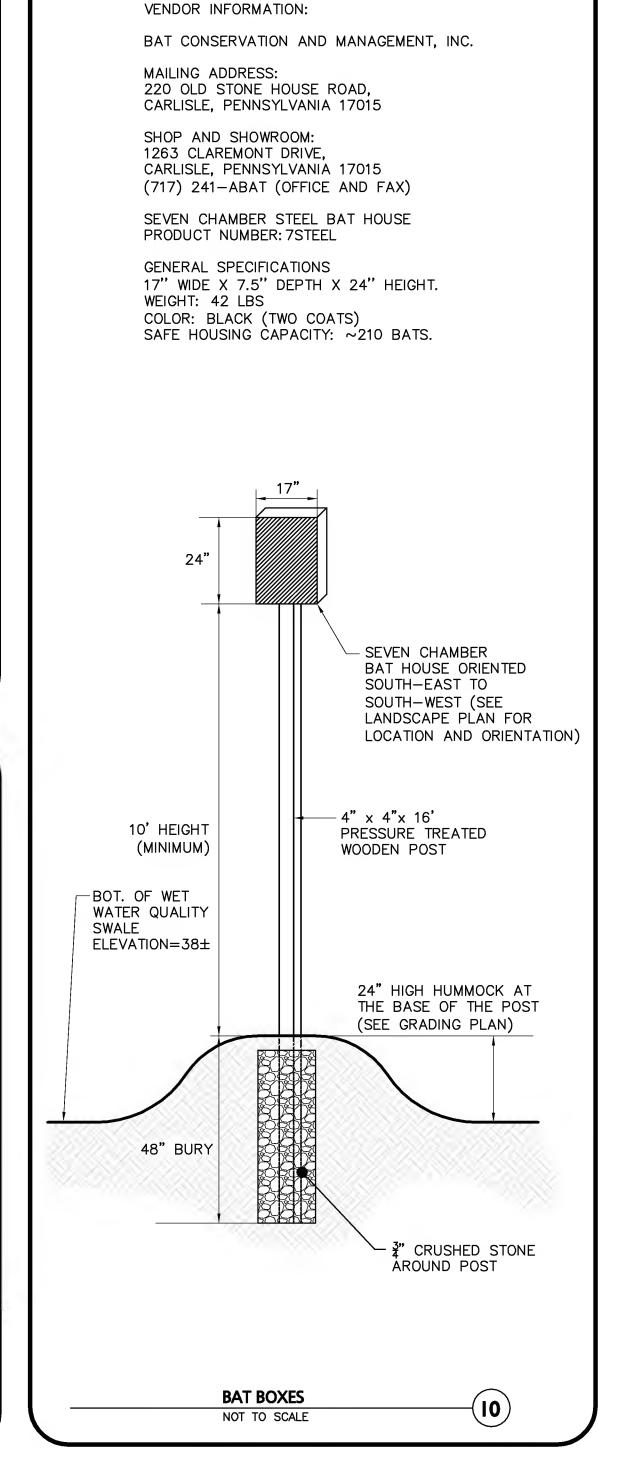


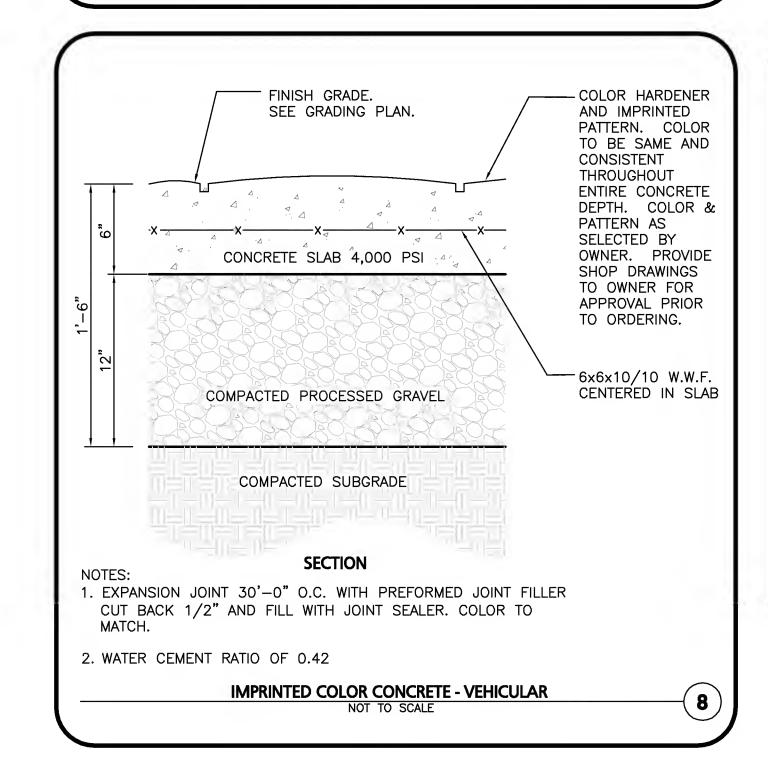


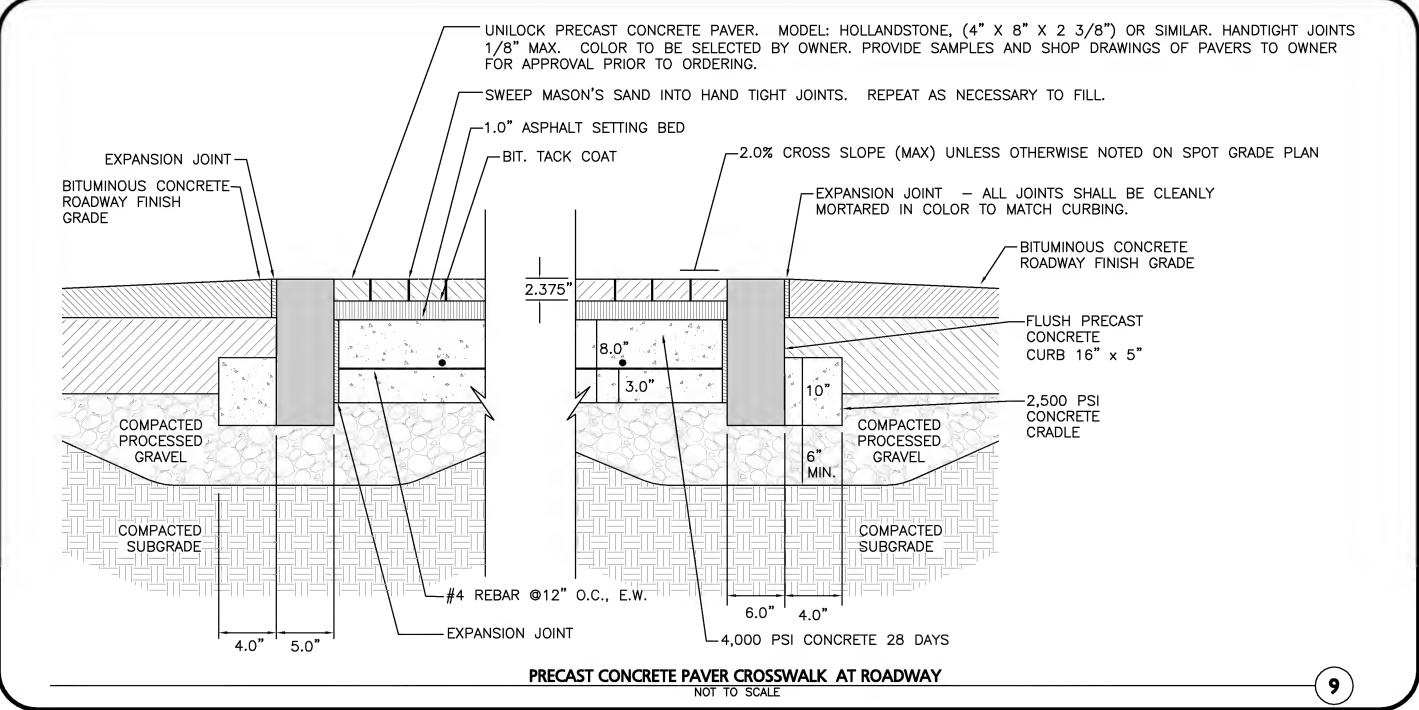


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drawing revisions:

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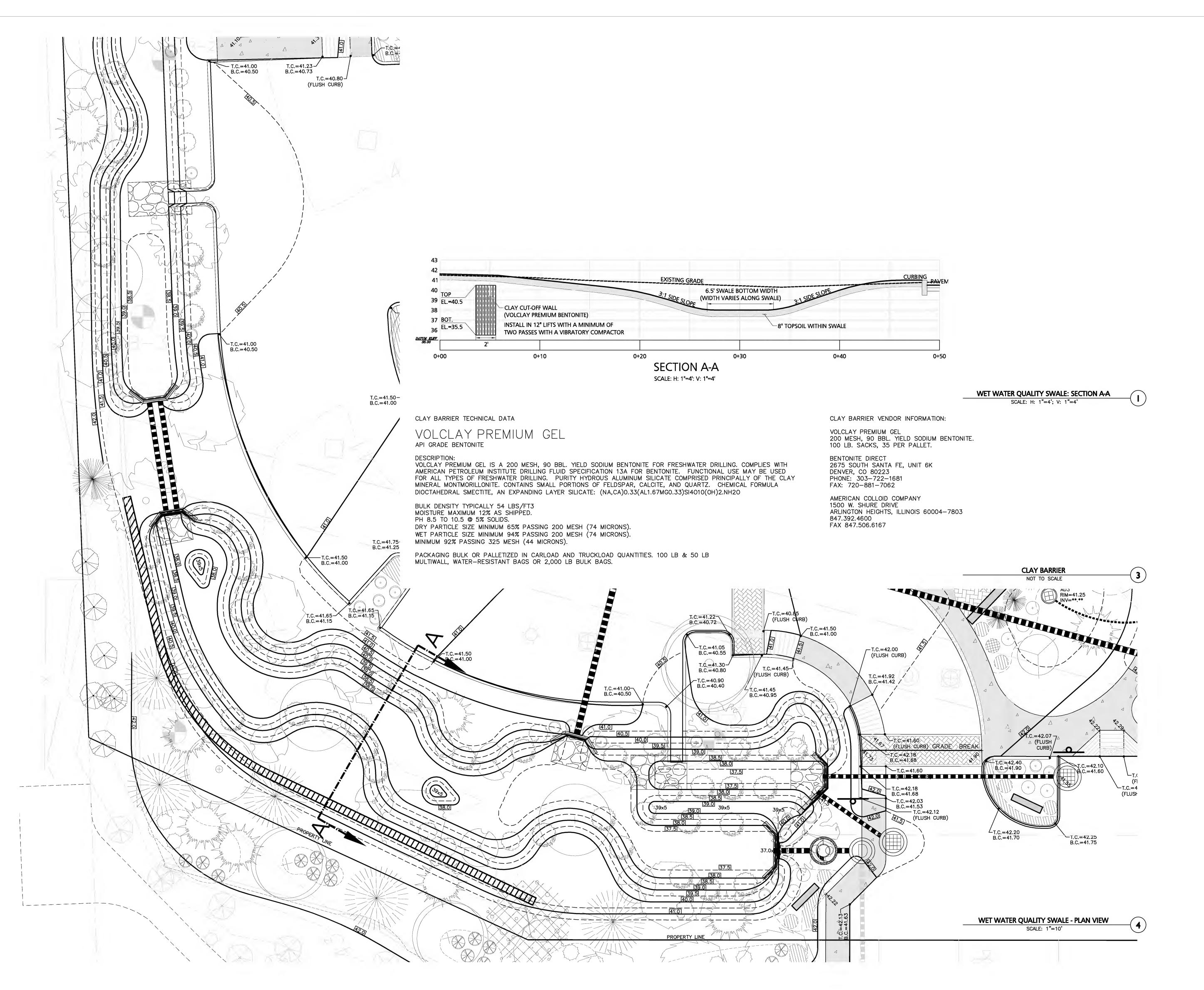
1 PER TOWN COMMENTS 06-16-10

United States of the states

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Details

drawing number.



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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE (IN FEET) 1 inch = 10 ft.

 $N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01\-DETAILS.DWG$

360 Merrimack Street Lawrence, MA 01843 phone: 978.989.9900 www.cube3studio.com

Residential & Retail Development

30-50 Mill Street Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms 490 Virginia Road, Suite 2 Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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civil & structural engineering • land surveyi
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www.allenmajor.com

100 COMMERCE WAY
P.O. BOX 2118

WOBURN MA 01888-0118

TEL (781) 93.6.889

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BDJ, RI

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	drawing checked by:	TJW
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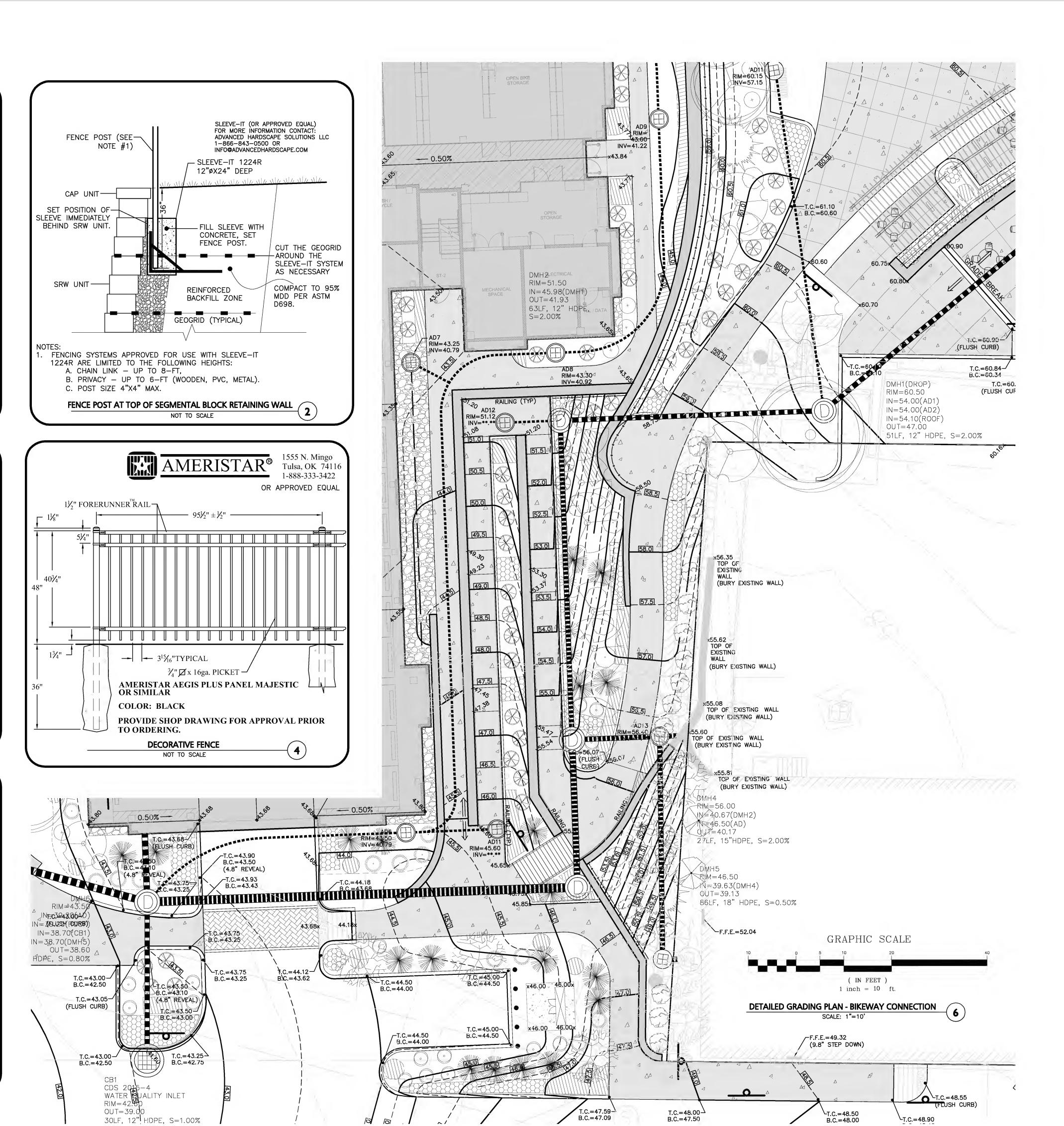
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8" MIN. LOW ─\

PERMEABLE SOIL

RETAINED SOIL

(¾" CRUSHED

ROCK OR STONE) -

APPROXIMATE LIMITS —

OF EXCAVATION

4" PERFORATED PVC —

IN FILTER FABRIC

(IF REQUIRED)

DRAINAGE TILE WRAPPED

EXCAVATION - LIMITS

6" CRUSHED ROCK-

BASE LEVELING PAD NOTES:

PSI UNREINFORCED CONCRETE

OR UNREINFORCED

CONCRETE LEVELING

JNIT DRAINAGE FILL

∠MODULAR BLOCK

-MODULAR UNIT

FINISHED GRADE

UNREINFORCED CONCRETE

OR CRUSHED STONE

LEVELING PAD

- IMPERVIOUS FILL

12" DEEP

GEOSYNTHETIC REINFORCEMENT

- APPROXIMATE

EXCAVATION

LINE (PER OSHA)

DESIGN BY, OTHERS

(FOUNDATION SOIL

STANDARD UNIT-1" SETBACK

TYPICAL GRAVITY WALL SECTION

NOT TO SCALE

REINFORCED BACKFILL

► IMPERVIOUS FILL

6" THICK MIN.

TYPICAL SEGMENTAL BLOCK RETAINING WALL

1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2000

STANDARD UNIT/BASE PAD ISOMETRIC SECTION VIEW

NOT TO SCALE

2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL

ENGINEER PRIOR TO PLACEMENT O THE LEVELING PAD.

NOT TO SCALE

-GRANULAR LEVELING PAD

COMPACTED 95% OF MAX.

STANDARD PROCTOR DENS/TY

- DRAINAGE AGGREGATE 12" THICK MIN.

- 4" DIA. (MIN.) DRAIN PIPE

OUTLET @ END OF WALL

OR @ 40' CENTERS MAX.

CAP UNIT

ADHESIVE

ADHERE TO TOP UNIT

WITH CONCRETE

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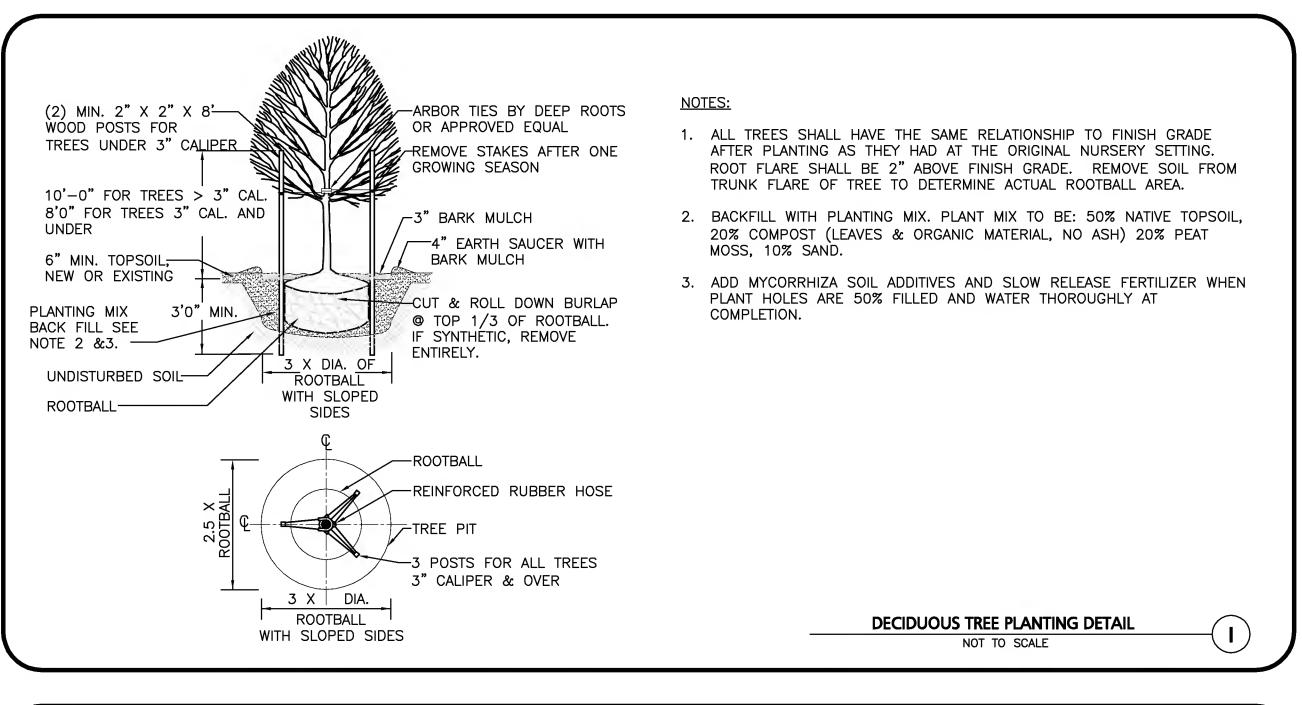
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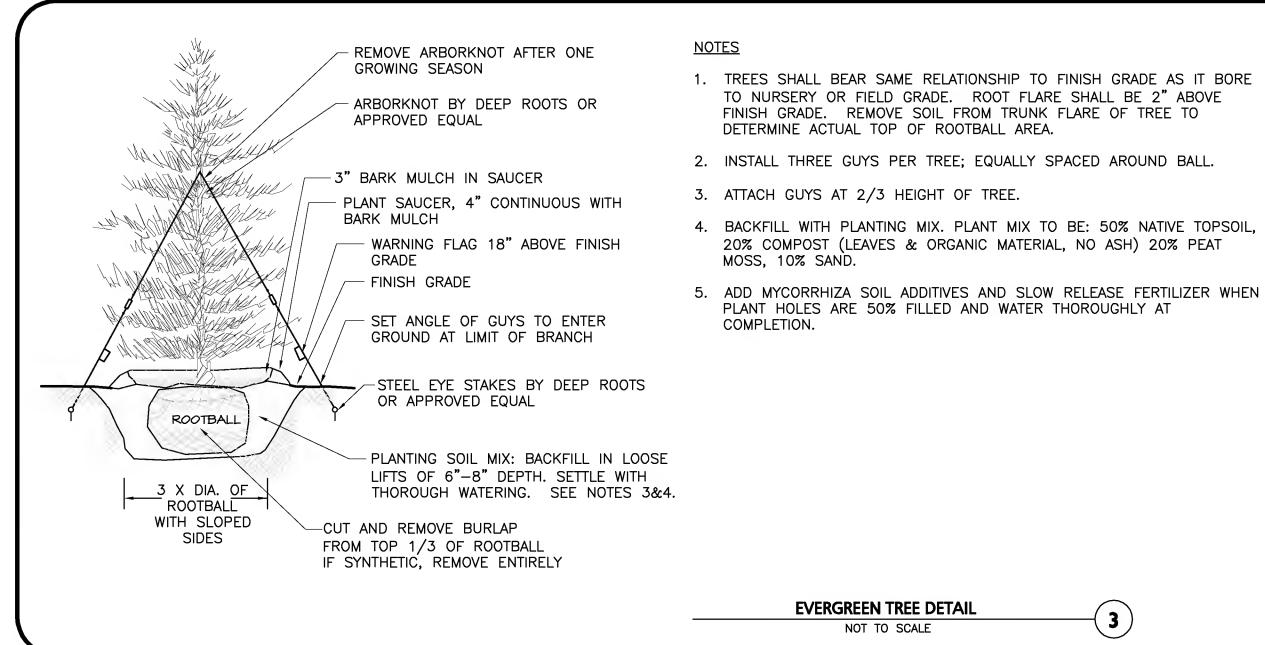
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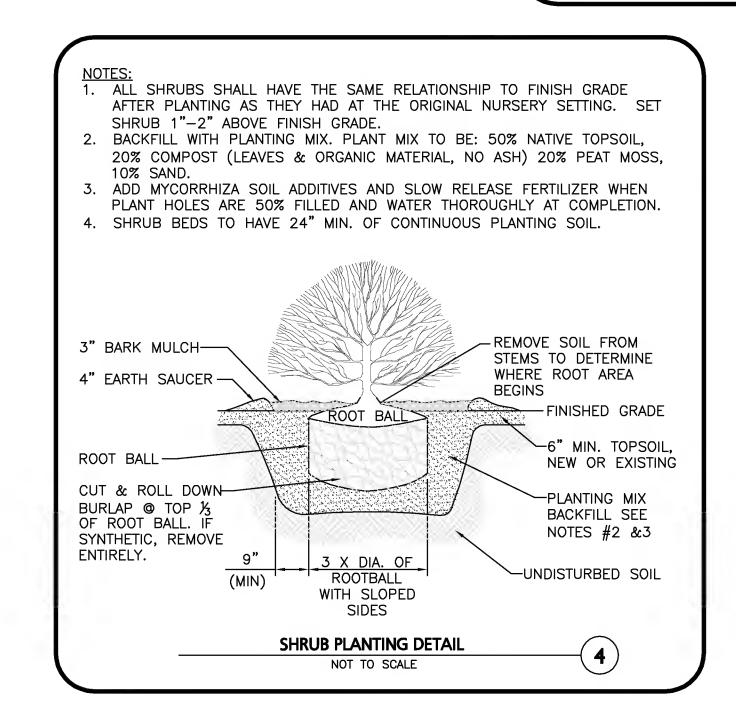
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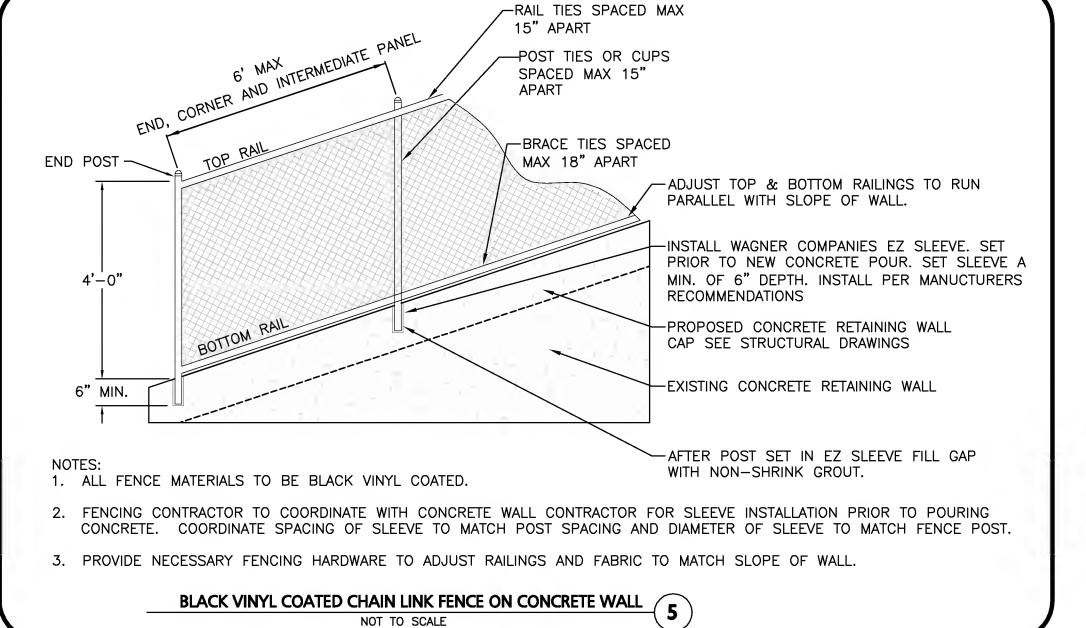
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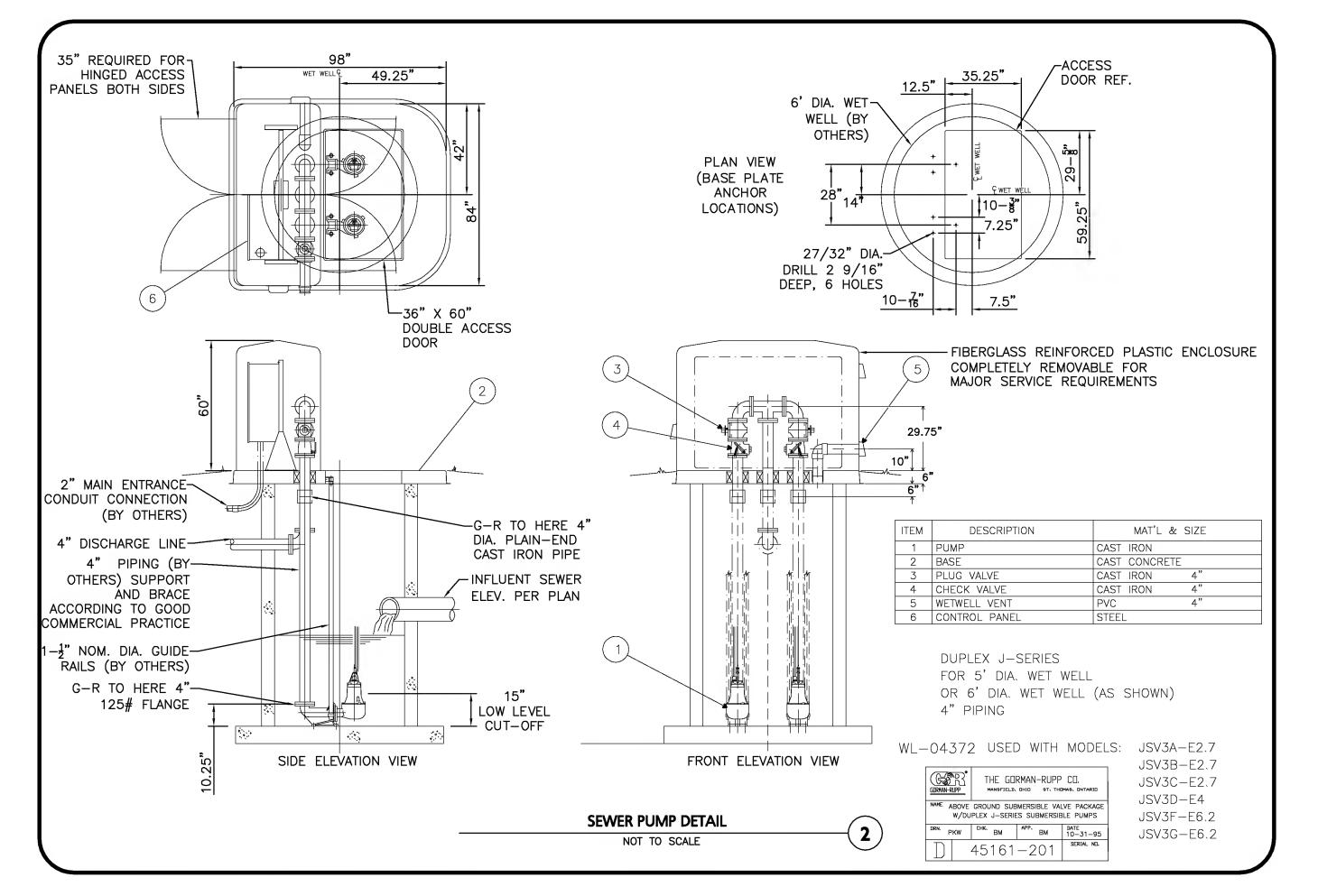
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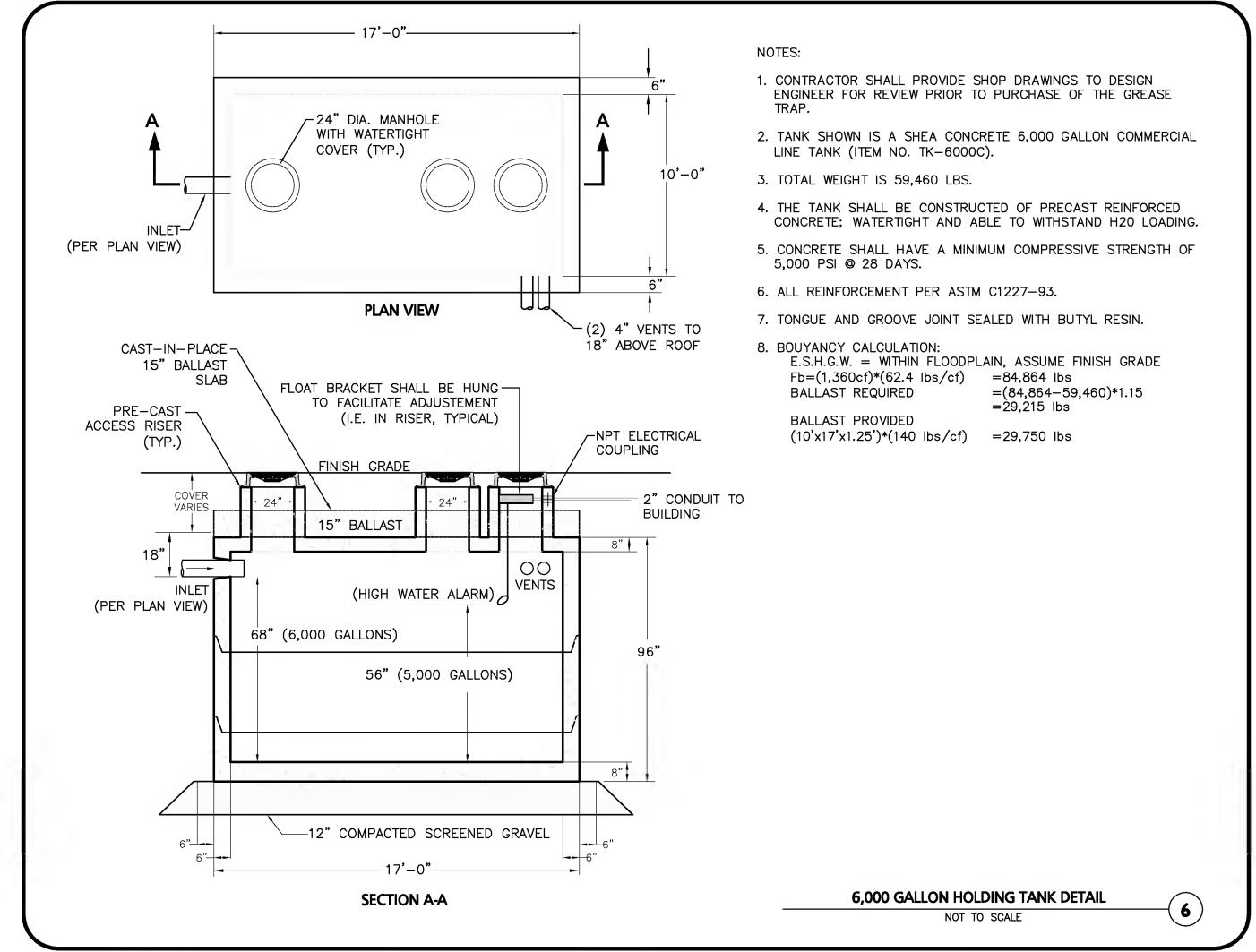












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ALLEN & MAJOR ASSOCIATES, INC. ivil & structural engineering eland surveyir.

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P.O. BOX 2118

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TEL: (781) 935-6889

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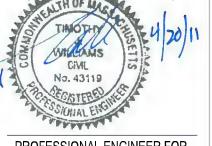
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BDJ, RB

TJW

NTS

03.15.10

1670-01

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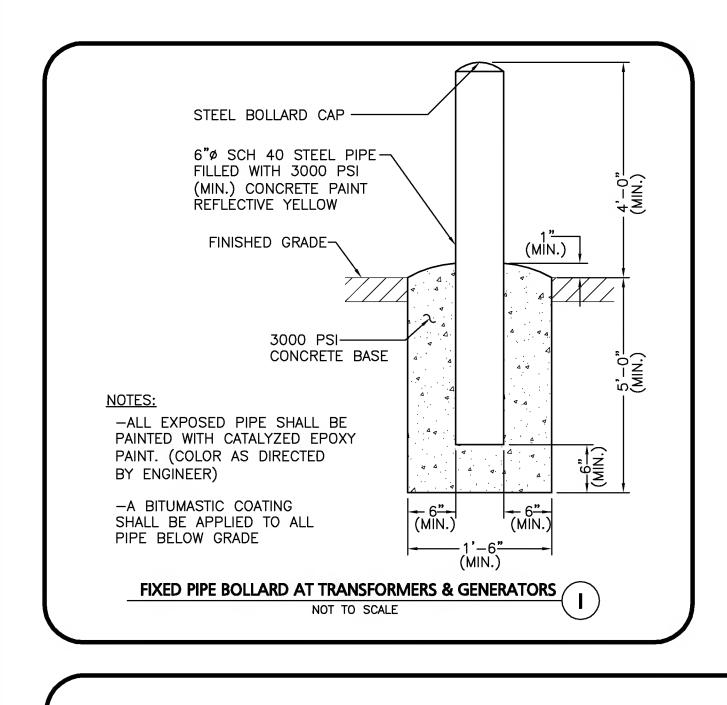
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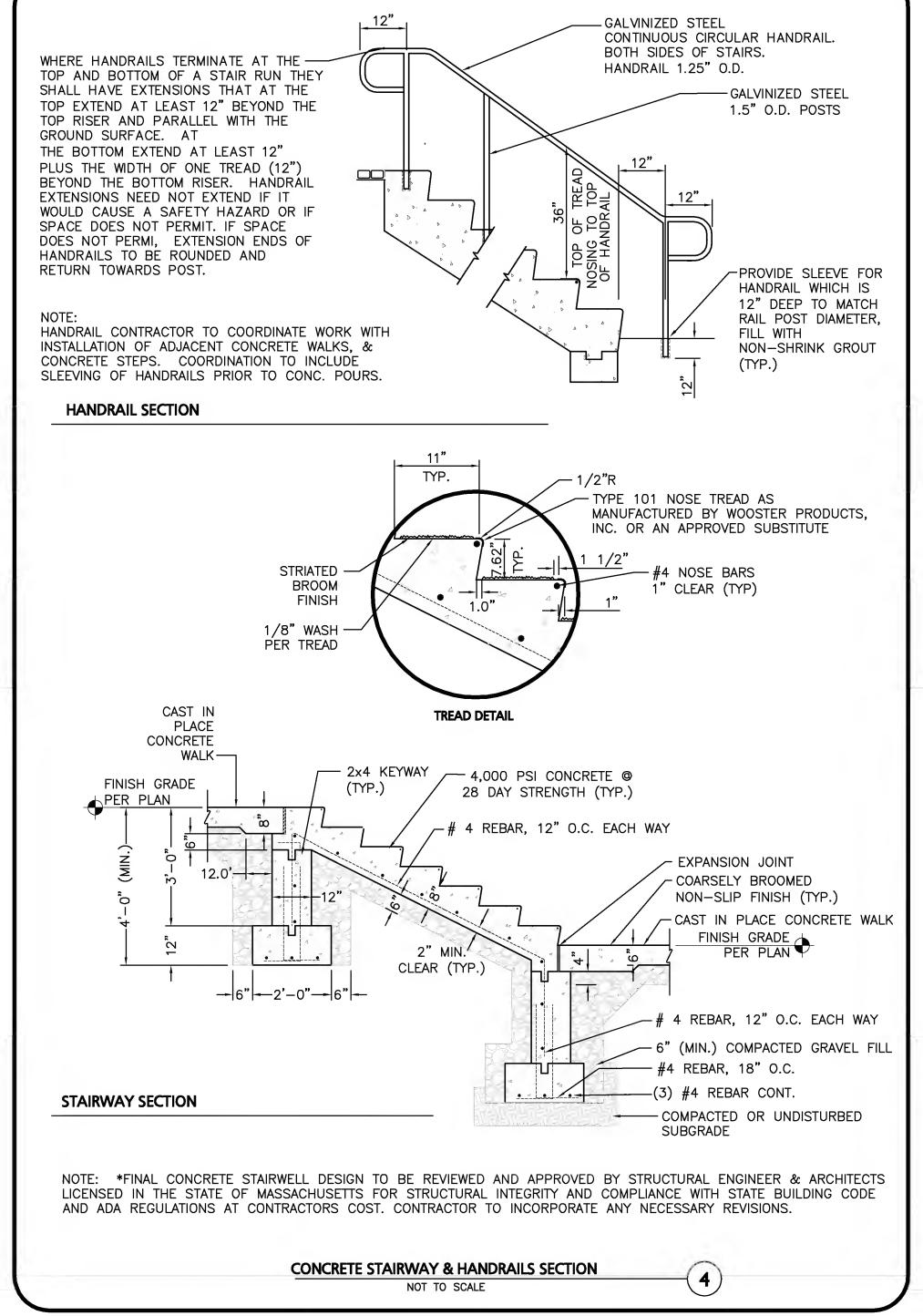
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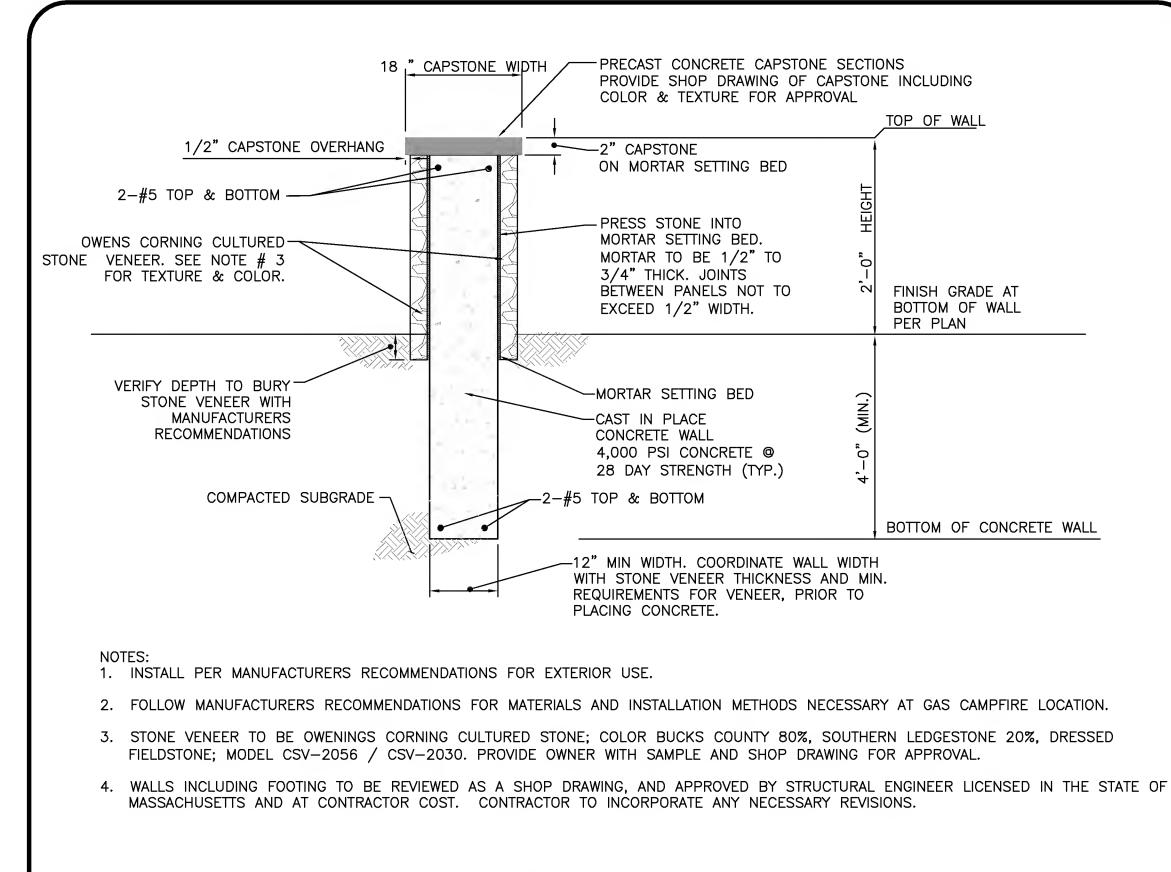
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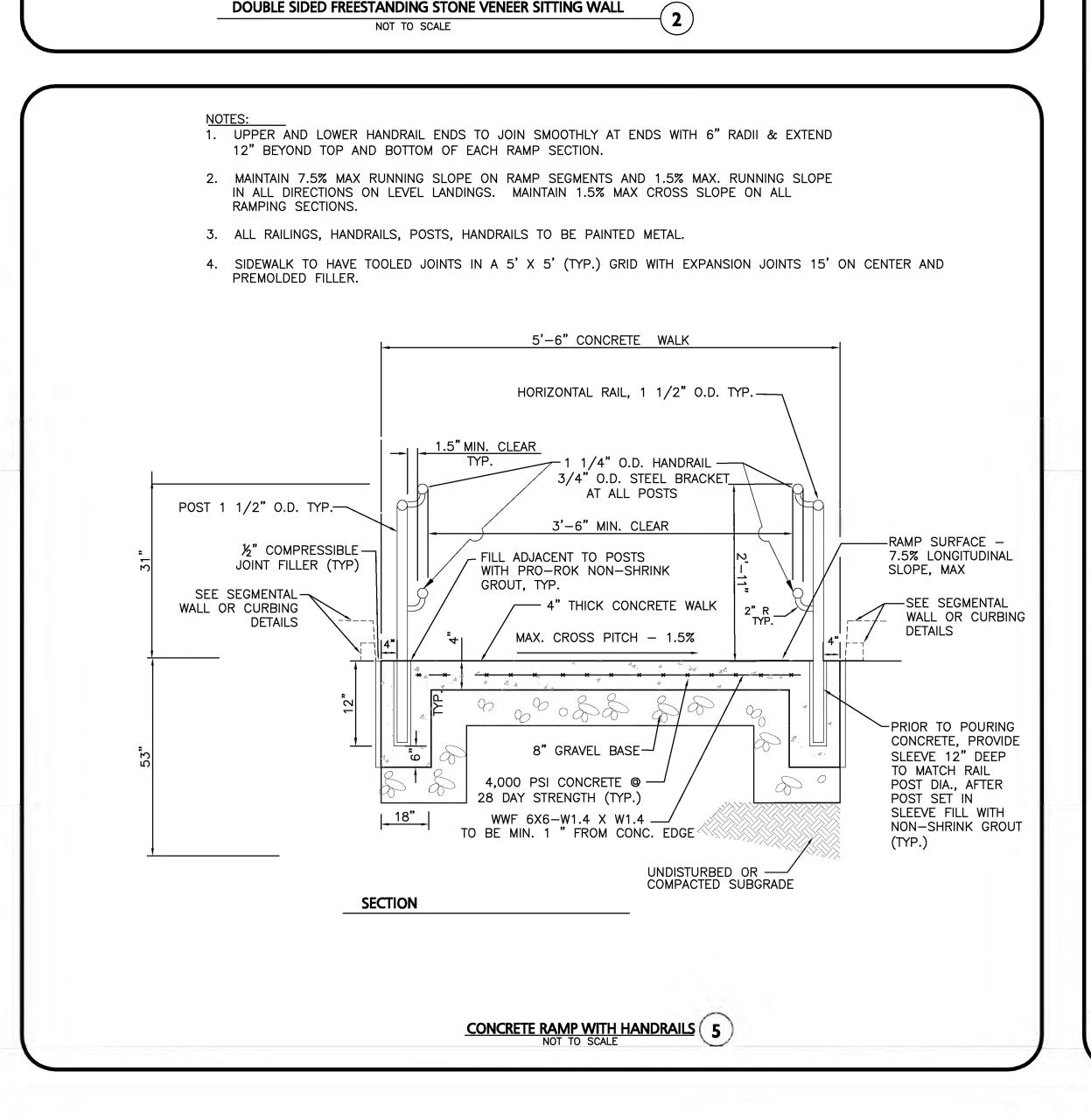
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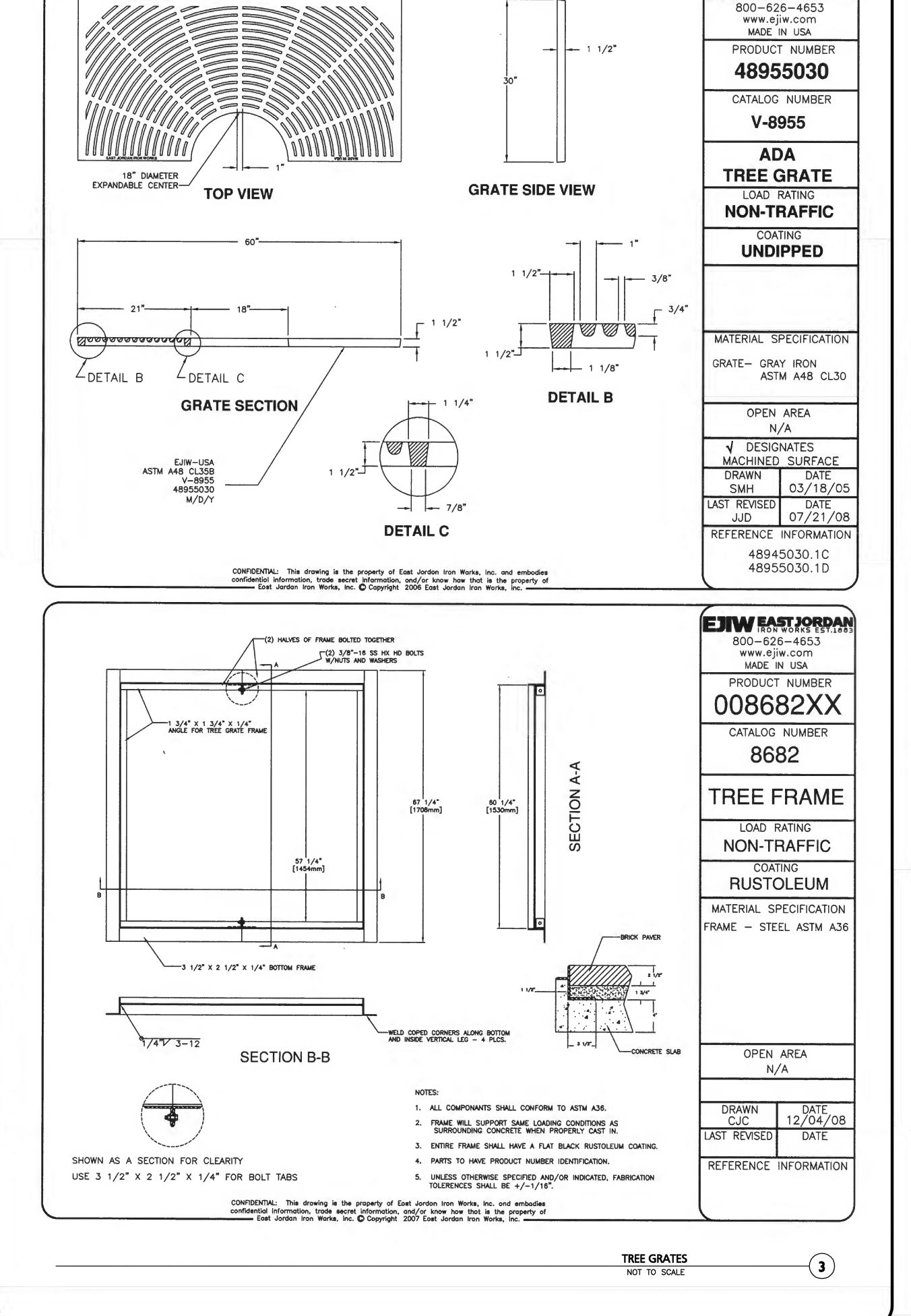
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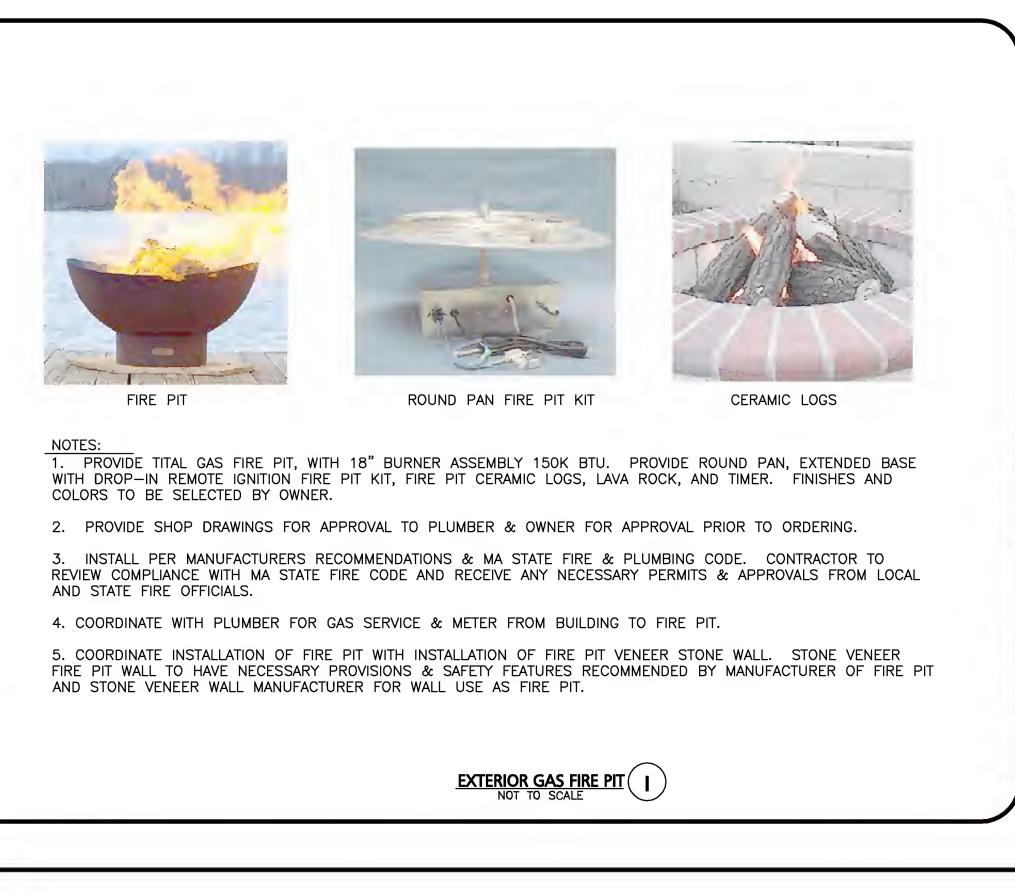
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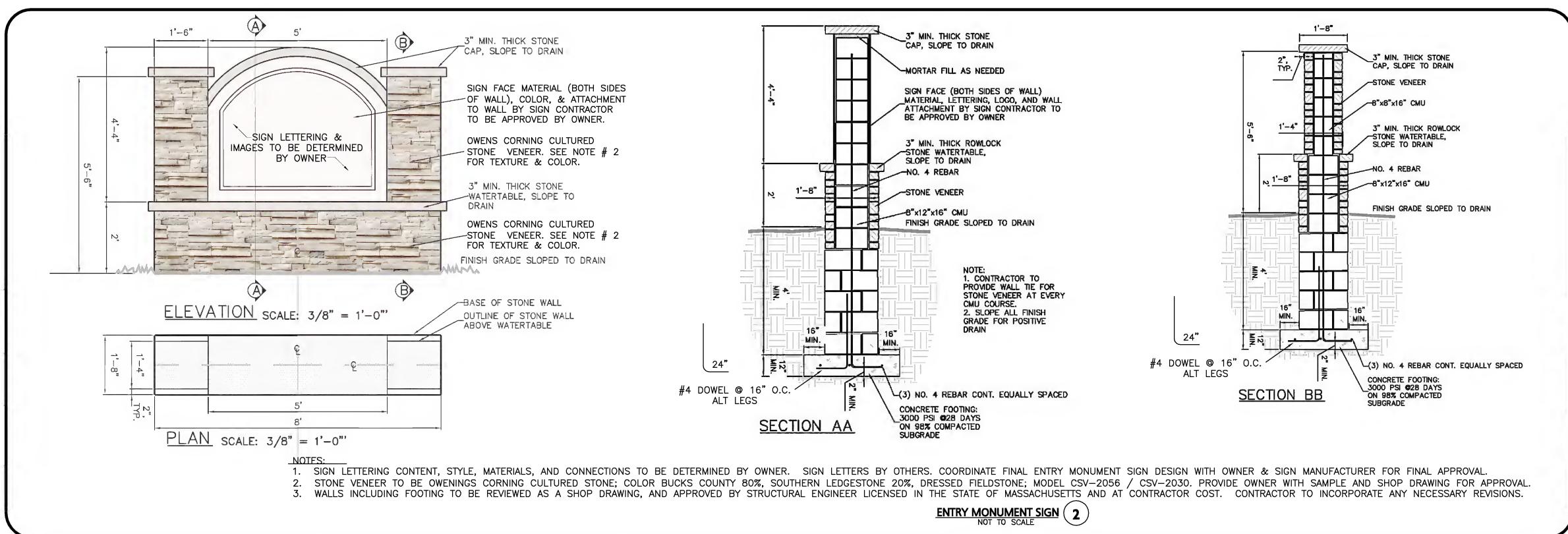
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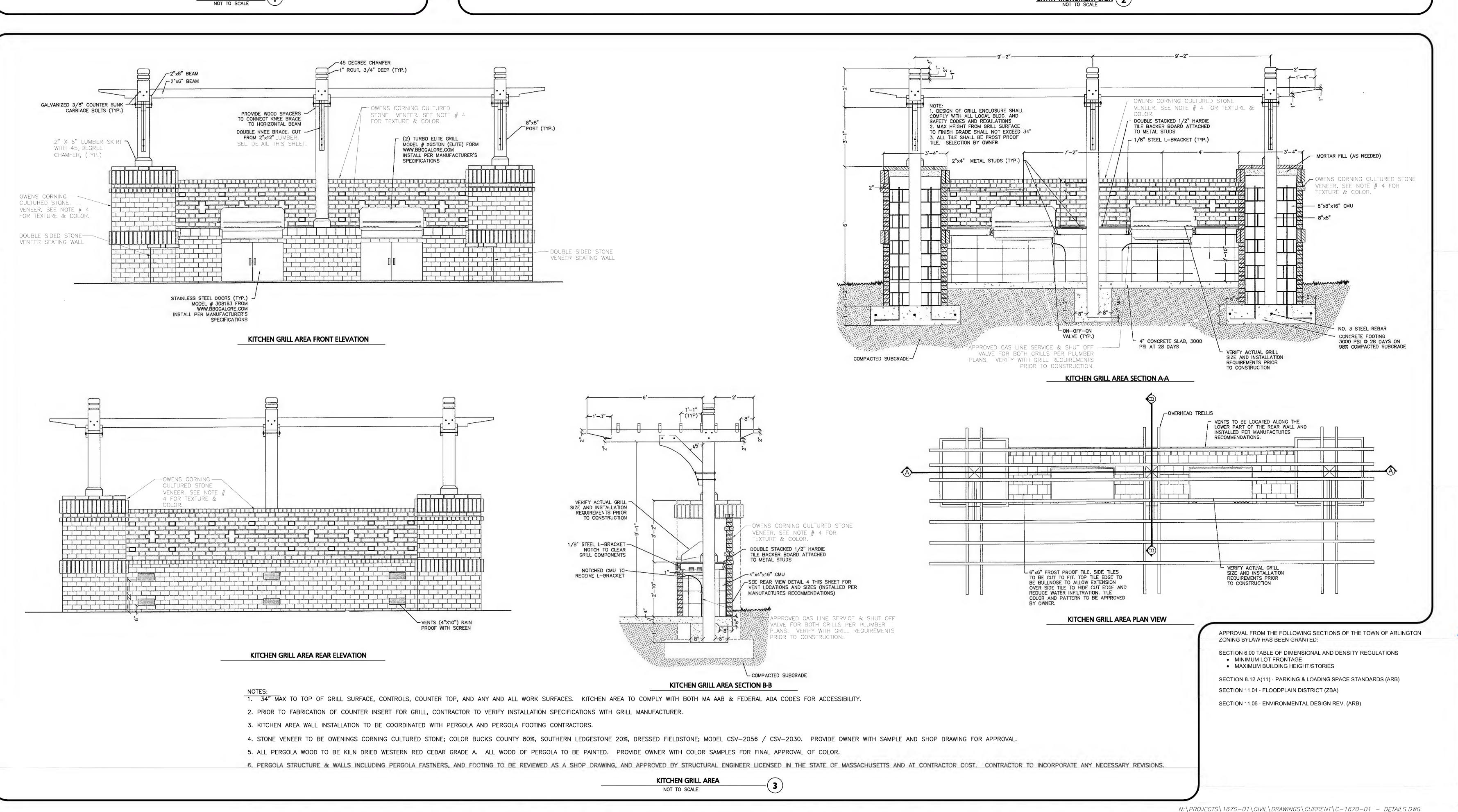
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drawing checked by:

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drawing scale:

NTS

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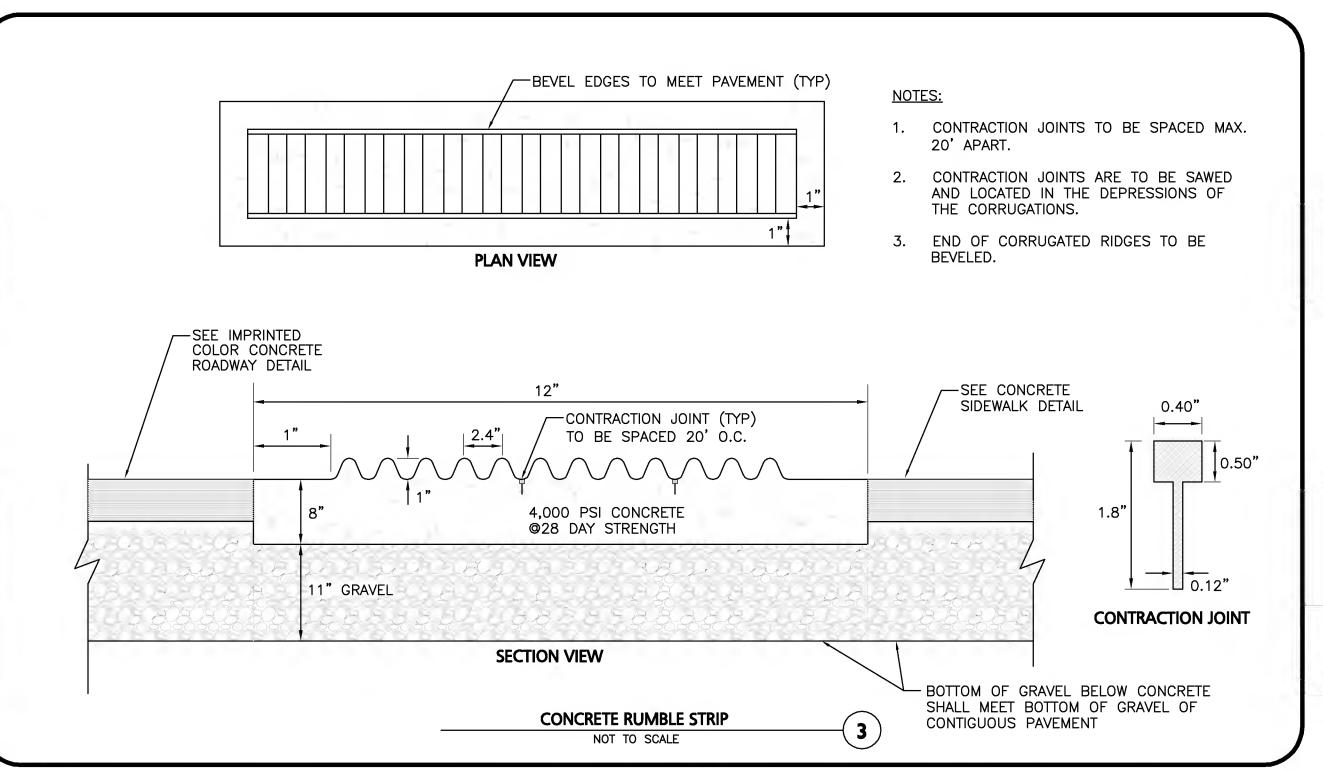
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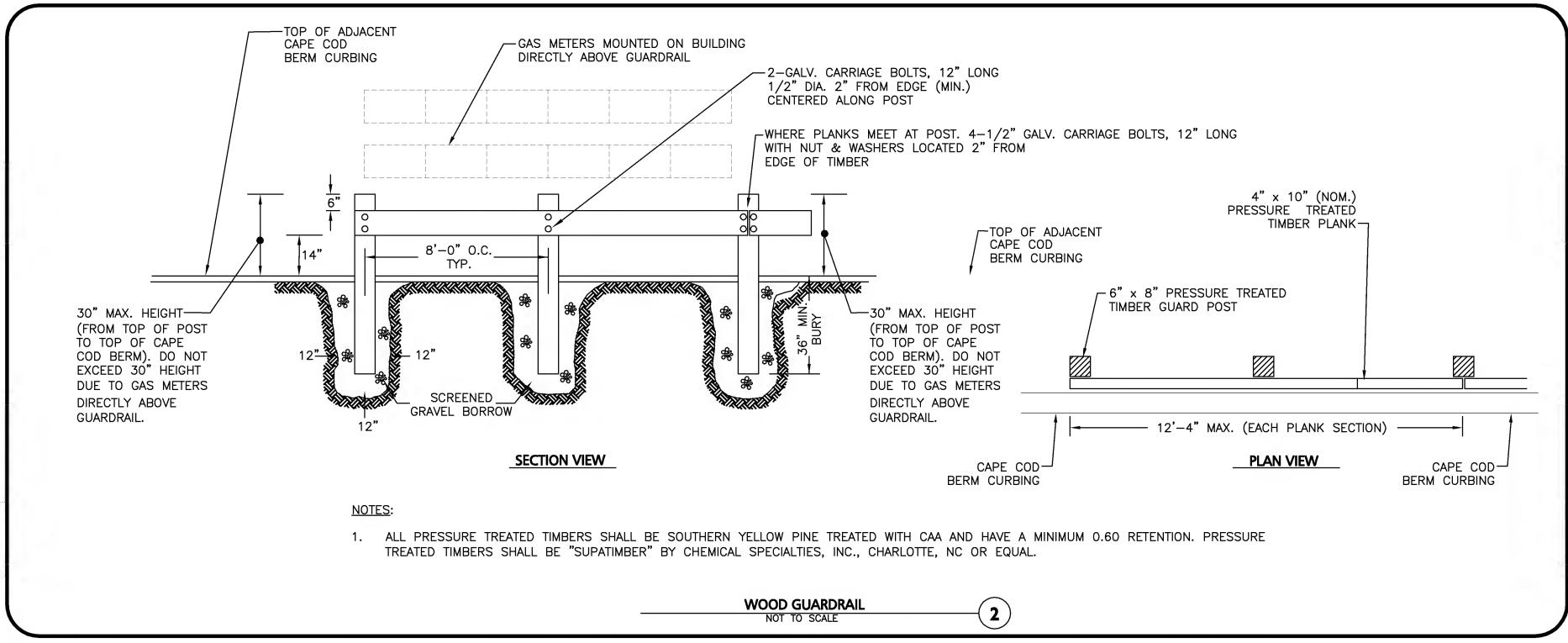
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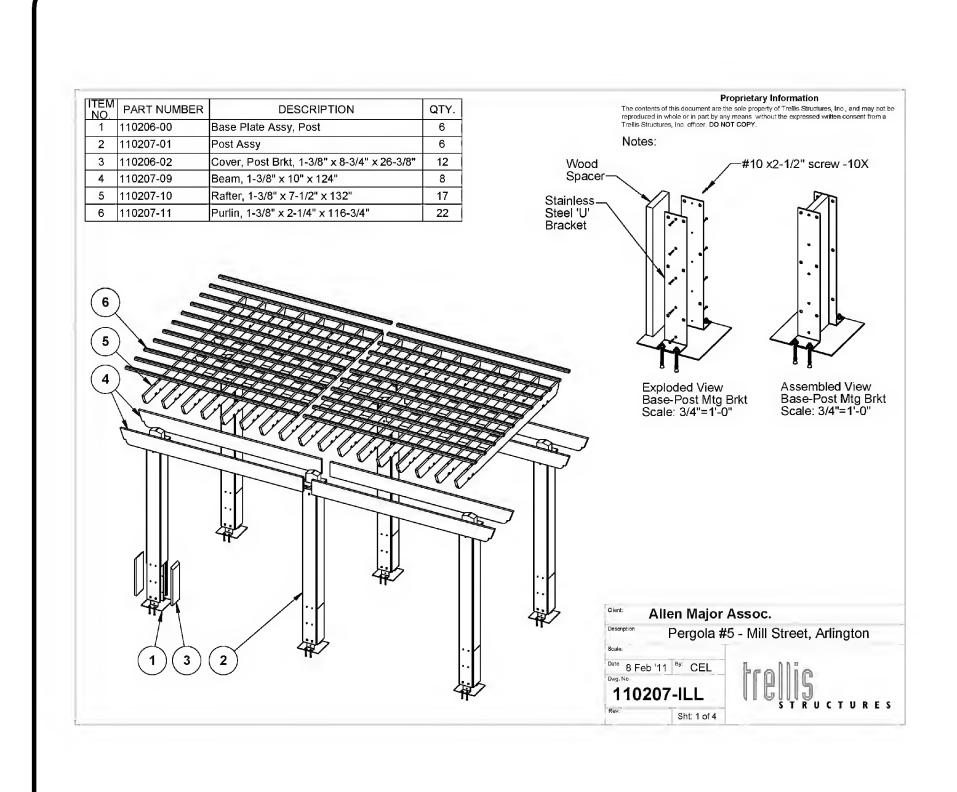
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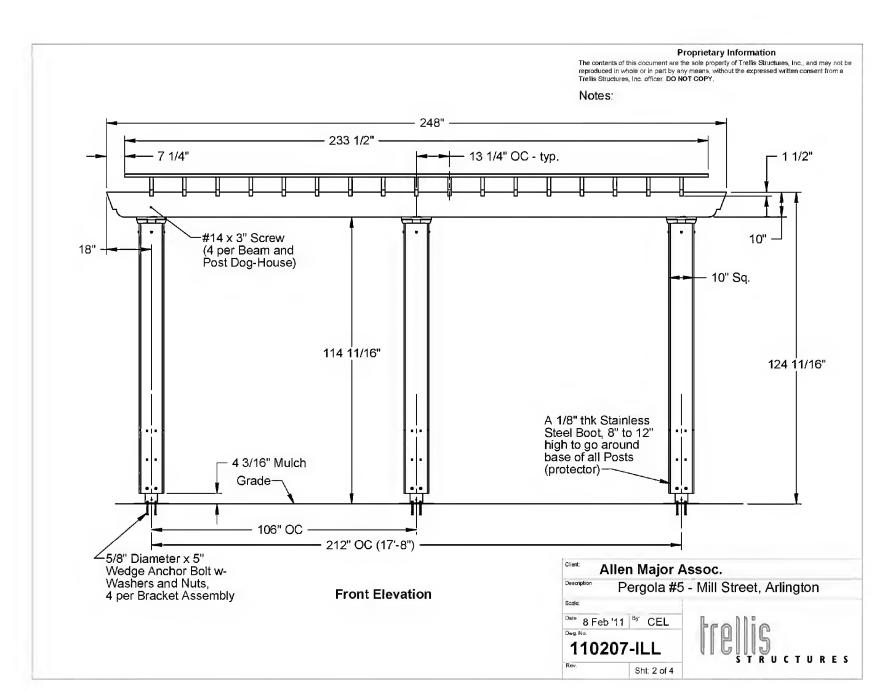
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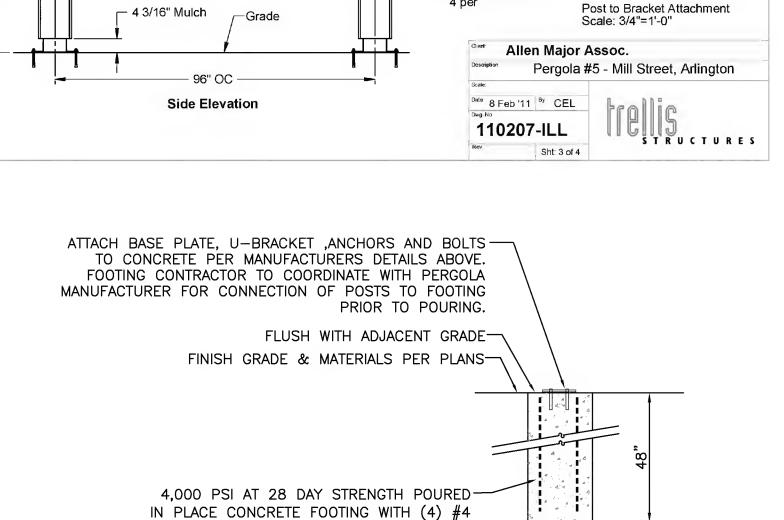
drawing number:











REBAR VERTICAL &, EQUALLY SPACED

1. INSTALL FOOTING PER MANUFACTURERS & STRUCTURAL ENGINEER RECOMMENDATIONS.

AND LICENSED IN THE STATE OF MASSACHUSETTS PRIOR TO CONSTRUCTION.

2. PROVIDE SHOP DRAWINGS FOR APPROVAL OF TRELLIS STRUCTURE INCLUDING FASTNERS, AND

FOOTING TO BE REVIEWED AND STAMPED BY STRUCTURAL ENGINEER PROVIDED BY CONTRACTOR

Access Panel

3" Trimhead screw into

Rafter (2 per). Secure

all Purlins to Rafters

└─ 1 **1**/2"

7 1/2" \

123 3/16"

WOODEN PERGOLA #5 (PERGOLAS #1 , 3, & 4 ARE SIMILAR CONSTRUCTION TO #5 WITH VARYING TOTAL LENGTHS AND WIDTHS)

NOTES:

- 1. PERGOLAS BY "TRELLIS STRUCTURES"; 25 NORTH MAIN STREET, REAR, PO BOX 48 E. TEMPLETON, MA 01438 P. 978-630-8725.
- 2. ALL PERGOLA WOOD TO BE KILN DRIED WESTERN RED CEDAR GRADE A. ALL WOOD OF PERGOLA TO BE PAINTED. PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL APPROVAL OF COLOR.
- 3. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- 4. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- 5. PERGOLA STRUCTURE INCLUDING FASTNERS, AND FOOTING TO BE REVIEWED, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS, AND AT CONTRACTORS COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.

NOT TO SCALE

6. PERGOLA CONTRACTOR TO COORDINATE PERGOLA INSTALLATION WITH ADJACENT LIGHTING, PERGOLA FOOTING, AND WALL INSTALLATIONS.

WOODEN PERGOLA STRUCTURES

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TEL: (781) 985-6889

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Notes:

-Above each Beam

(in Rafter) is a pre-

started hole for a 10"

Timberlock Screw,

Hole to be plugged

secured in place.

after all Timberlocks

Acorn Nut w-Washer onto 1/2"-13 Hex Head

1/2"-13 Hex Head Bolt w-Washer and

Nut, Bottom holes (4X)—

Ref. Wedge Anchors— 5/8" Diameter x 5"

Bolt (8X)----

secure Rafter to Beam.

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drawing checked by:

TJW

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